



Planning Commission Agenda

April 18, 2023
5:30 pm
Hybrid Meeting

The Planning Commission consists of seven members appointed by the Mayor and confirmed by the City Council. The Commission primarily considers plans and regulations relating to the physical development of the city, plus other matters as assigned. The Commission is an advisory body to the City Council.

Members: Alyne Hansen (Chair), Tony Zuniga Sanchez (Vice Chair), Tom Dantzler, Karin Ellis, Damiana Merryweather, Jagtar Saroya, Bandhanjit Singh

Staff Coordinator: Jenn Kester, Planning Manager

A quorum of the Council may be present.

ITEM	TOPIC	PROCESS	WHO	TIME
1	Call to Order / Roll Call		Chair	5:30 (2 min)
2	Approval of the minutes of March 21, 2023, meeting.	Review and Approve	Members	5:32 (3 min)
3	Public Comment on items <u>not</u> on the agenda. <i>Comments on agenda items will be addressed after the staff presentation and Commission discussion on each item below.</i> <i>See Public Comment Process below.</i>		Chair	5:35 (5 min)
4	Sign Code Amendments: Building Mounted Signage	Presentation and Discussion	Staff and Members	5:40 (40 min)
5	CED Staff Report	Briefing	Staff	6:20 (3 min)
6	Planning Commission Comments (including suggestions for next meeting agenda)	Discussion	Members	6:23 (2 min)
7	Adjourn			6:25

This meeting will be conducted in a hybrid format with in-person and remote options for public participation. The meeting will be broadcast on SeaTV Government Access Comcast Channel 21 and live-streamed on the City's website <https://www.seatacwa.gov/seatvlive>.

Public Comment Process: The commission will hear in-person public comments and is also providing remote oral and written public comment opportunities. All comments shall be respectful in tone and content. Providing written comments and registering for oral comments must be done by 3:30 pm the day of the meeting. Registration is required for remote comments and encouraged for in-person comments. Any requests to speak or provide written public comments which are not submitted following the instructions provided or by the deadline will not be included as part of the record.

- Instructions for providing remote oral public comments are located at the following link: [Council Committee and Citizen Advisory Committee Virtual Meetings](#).
- Submit email/text public comments to PCPublicComment@seatacwa.gov. The comment will be mentioned by name and subject and then placed in the committee handout packet posted to the website.

**CITY OF SEATAC
PLANNING COMMISSION MEETING
Minutes of March 21, 2023, Meeting**

Members present: Chair Alyne Hansen, Damiana Merryweather, Jagtar Saroya; Karin Ellis, Tom Dantzler, Vice Chair Tony Zuniga Sanchez

Members absent: Bandhan (Brandon) Singh

Staff & Other

Present: Jenn Kester, *Planning Manager*; Laura Stilwell, *Associate Planner*; Barbara Mailo, *Admin 3*

1. Call to Order/Roll Call

Chair Hansen called the meeting at 5:32 pm and roll call.

2. Approval of the minutes of March 7, 2023, meeting

Vice Chair Sanchez motioned to approve minutes. Commissioner Merryweather second.

Minutes passed: 6:0

3. Public Comments on items not on the agenda

None

4. Sign Code Amendments: Electronic Signs

Presented by Associate Planner Stilwell.

The purpose of the presentation was to solicit feedback for proposed sign code revisions.

Discussion commenced with Commissioner Merryweather, Vice Chair Sanchez, Planning Manager Kester, and Chair Hansen.

5. CED Staff Report

Report by Planning Manager Kester.

- Update on March 10, 2023, Rental Housing Protections Community Meeting (Outreach) with property owners and tenants: Staff are compiling written comments. The council had a work study session on March 14 and there was discussion by some Councilmembers regarding the outreach. March 28 Council meeting was cancelled. Will be back on April 11 Council meeting.
- Planning Economic Development will be meeting on March 23 Thursday to look at MFTE code amendment scope.
- Regarding City Center – Principal Planner Kate Kaehny will be back to discuss.
- Regarding Sign Code – Associate Planner Stilwell will be back at next PC meeting.
- The Council adopted the ordinance that changed the Planning Commission term. City Clerk will send letter informing members if their term is ending and they have opportunity to re-apply.

6. Planning Commission Comments (including suggestions for next meeting agenda)

None

7. Adjournment

Vice Chair Sanchez motioned to adjourn the meeting. Commissioner Dantzler second.
The meeting adjourned at 6:11pm.

DRAFT



MEMORANDUM COMMUNITY & ECONOMIC DEVELOPMENT

Date: 4/18/2023
To: Planning Commission (PC)
From: Laura Stilwell, Associate Planner
Subject: Code Amendment Briefing: Sign Code

Purpose

This meeting is meant to provide the Planning Commission an overview of proposed amendments pertaining to building-mounted signs in SMC Chapter 15.600, Sign Code.

Overview of Proposed Building-Mounted Sign Regulations

Staff have drafted specific code amendment language to review with the Planning Commission. The potential code amendments have been categorized as follows:

1. Definitions – consolidate and modify existing definitions (e.g. Awning Sign, Building-Mounted Sign, Canopy-Mounted Sign, Marquee Sign, Parapet Sign, Porte-Cochere Sign);
2. Streamlining – remove additional permit requirements which have never been used and/or enforced;
3. Clarification – add clarifying language to enhance Code users’ understanding of requirements.

Next Steps

If tentative agreement is reached on changes to the building-mounted sign code, staff will bring additional topic-specific changes to the sign code at your next meeting.

Packet Materials

Proposed code changes

Presentation

Sign Code Amendments: Building-Mounted Signs

Planning Commission

April 18, 2023

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DATE: 4/18/23



PRESENTATION OVERVIEW

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DATE: 4/18/23

PRIORITIES

- Discuss proposed sign code revisions regarding building-mounted signs.

PURPOSE OF PRESENTATION

- Solicit feedback for proposed sign code revisions



BUILDING-MOUNTED SIGNS: OVERVIEW OF PROPOSED CHANGES

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- Definitions
 - Consolidate and modify existing definitions.
- Streamline building-mounted sign approval processes.
 - Remove regulations which have never been used and/or enforced for unused sign surface area.
- Clarification
 - Add clarifying language to enhance Code users' understanding of requirements.

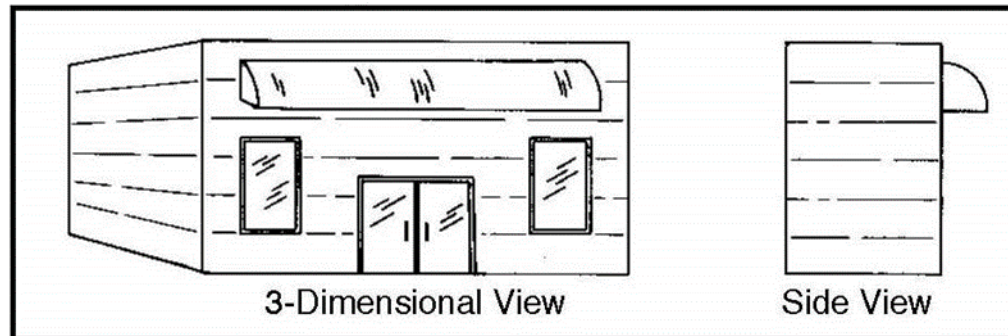


Awning

~~A roof like cover that projects from the wall of a building for the purpose of shielding a door or window from the elements. See Figure: AWNING.~~

Awning sign

Any sign erected upon, or against, an awning-, which is a roof-like cover that projects from the wall of a building for the purpose of shielding a door or window from the elements. See Figure: AWNING.



Building-Mounted Sign

A single- or multiple-faced sign of a permanent nature, made of rigid material, attached to the façade of a building ~~or the face of a marquee.~~, including, without limitation, parapet, awning, marquee, porte-cochere, and canopy-mounted signs.

~~Canopy~~

~~A freestanding structure affording protection from the elements to persons or property thereunder.~~

Canopy-Mounted Sign

Any sign or awning erected upon or against a canopy, which is a freestanding structure affording protection from the elements to persons or property thereunder.

Marquee

~~A permanent roof-like structure extending from part of a wall of a building a maximum of six (6) feet and supported solely by the building.~~

Marquee Sign

Any sign that forms part of or is integrated into a marquee, which is a permanent roof-like projecting structure attached to a building, and that does not extend above the height of beyond the limits of such marquee. Also considered an extension of a building-mounted sign.

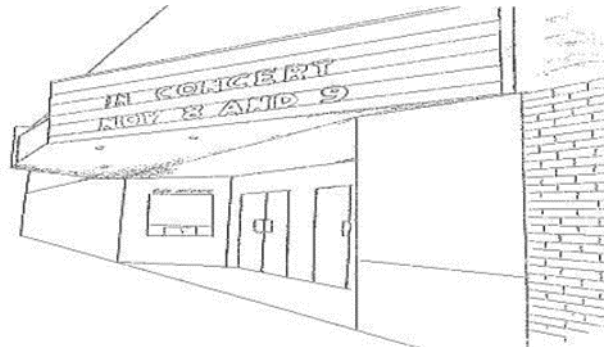


Figure: MARQUEE SIGN

Parapet

That portion of a building wall which extends above the roof of the building on all building facades (see Figure: PARAPET).

Parapet Sign

Any sign erected upon the parapet of a building, which is that portion of a building wall which extends above the roof of the building on all building facades; ~~not to exceed the height of any roof structures housing building/ventilation equipment.~~

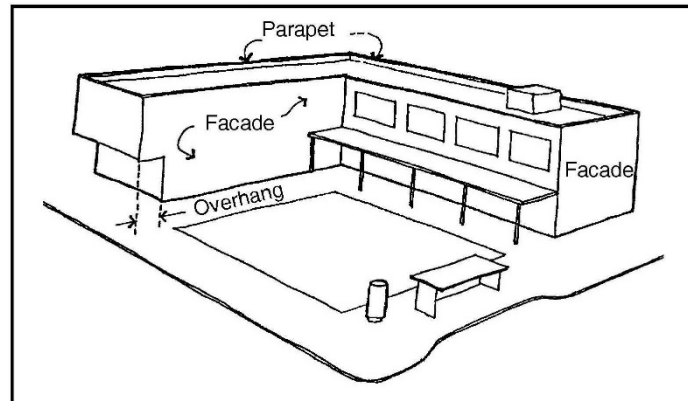
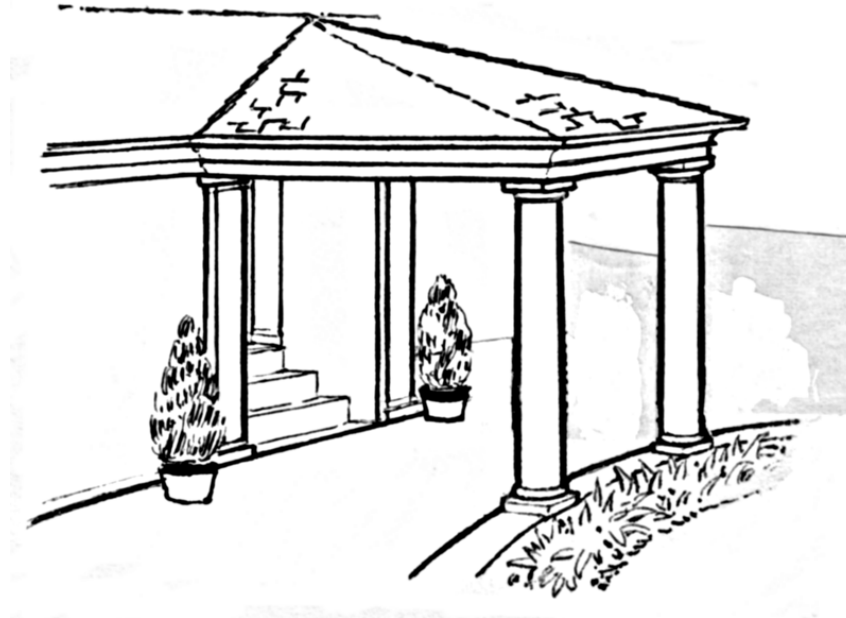


Figure: PARAPET

Porte-Cochere Sign

Any sign erected upon a porte-cochere, which is Aa covering structure projecting horizontally from and attached to a building, affording protection from the elements; typically used for loading and unloading of vehicles.



15.600.030 Commercial/Office/Industrial Zone Classification Signs

B. Standards.

2. Building-Mounted Signs (Including Parapet, Awning, Marquee, Porte-Cochere, and Canopy-Mounted Signs).

b. Unused sign surface area for a façade may be used by any tenant or user within the same multiple occupancy building if: the display of a secondary sign is necessary to reasonably identify and locate the use, and the provisions of this code do not provide the use with adequate sign display options.

- ~~i. The applicant files with the City a written statement signed by the tenant or user permitted to utilize that sign area under this code permitting the applicant to utilize the unused sign surface area that is directly related to the tenant.~~
- ~~ii. The display of a sign on that façade by the secondary sign user will not create a significant adverse impact on dependent sign users of that façade.~~
- ~~iii. The display of a secondary sign is necessary to reasonably identify and locate the use, and the provisions of this code do not provide the use with adequate sign display options.~~

15.600.030 Commercial/Office/Industrial Zone Classification Signs

B. Standards.

2. Building-Mounted Signs (Including Parapet, Awning, Marquee, Porte-Cochere, and Canopy-Mounted Signs).

c. Sign Height —~~Parapet Signs~~. The height of any building-mounted/~~canopy sign or parapet~~ sign shall not extend above the highest exterior wall of the building. ~~Additionally, no parapet can be extended above the highest roof ventilation structure.~~

g. Any sign mounted to the façade of a freestanding canopy structure or the façade of a porte-cochere extending more than six (6) feet from a building shall not exceed ~~thirty (30) inches~~ 70 percent of the width or in height. of the fascia the sign is mounted to so as to leave reveal on all sides of the sign and to maintain an appropriate balance between the sign and structure.

Building-Mounted Signs in Commercial/Office/Industrial Zone Classifications Cont'd.

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15.600.030 Commercial/Office/Industrial Zone Classification Signs

B. Standards.

2. Building-Mounted Signs (Including Parapet, Awning, Marquee, Porte-Cochere, and Canopy-Mounted Signs).

i. Decorative lighting including neon and other accent lighting, and any lighted canopy or building panel, shall be considered a building-mounted sign for the purposes of this section, and shall be counted as part of the aggregate sign surface area allowed. The width of any decorative lighting strip or accent shall be considered to extend six (6) inches beyond the limits of the actual strip, or accent, where the light flow is unencumbered in that direction.

~~j. The width of any decorative lighting strip or accent shall be considered to extend six (6) inches beyond the limits of the actual strip, or accent, where the light flow is unencumbered in that direction.~~

~~k. In no case may the maximum sign surface area permitted on a building façade be exceeded.~~



Building-Mounted Signs in Multi-Family Residential Zone Classifications

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15.600.040 Multi-Family Residential Zone Classification Signs

A. **General.** This section applies to:

1. Multiple-family buildings and commercial use, church, school or community use located in the T, UM, UH, CB, RBX, UL, NB, I and O/C/MU zone classifications.
- Otherwise, same changes as in Commercial/Office/Industrial zone classifications.



NEXT STEPS IN PLANNING COMMISSION REVIEW

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NEXT STEPS

- Continue to draft potential code amendments and present for PC edits and feedback

LATER STEPS

- Conduct SEPA and Department of Commerce review
- Hold Public Hearing at Planning Commission and make recommendation to City Council
- Bring recommendation to PED
- Bring ordinance to City Council



END

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QUESTIONS?

**AREAS YOU SEE AS ESPECIALLY IMPORTANT FOR FURTHER
CONSIDERATION IN SIGN CODE DEVELOPMENT?**



Chapter 15.600
SIGN CODE

Sections:

- 15.600.015 Definitions
- 15.600.030 Commercial/Office/Industrial Zone Classification Signs
- 15.600.040 Multi-Family Residential Zone Classification Signs
- 15.600.050 Single-Family Residential Zone Classification Signs

15.600.015 Definitions

Animation

Movement or the appearance of movement of a sign display through the use of patterns of lights, changes in color or light intensity, computerized special effects, video display, or through any other method; except for the scrolling of a static message or scene onto or off a sign board in one (1) direction per message. Note that animation is prohibited per SMC 15.600.120(D), Prohibited Signs.

Area or Surface Area of Sign

The area of a sign excluding sign support structures, which do not form part of the sign proper or the display. Surface area shall be measured as follows:

- A. The “surface area” of the sign is determined by the height times the width of a typical rectangular sign or other appropriate mathematical computation of surface area for nonrectangular signs.
- B. “Surface area” includes only one (1) face of a double-faced sign where the faces of the sign are parallel. If any face is offset from parallel by more than five (5) degrees, such face shall be counted as a separate surface area.
- C. “Surface area” of a sign with more than two (2) faces, such as a cube or pyramid, shall be calculated as the sum of the surface area of all faces, divided by two (2).
- D. In the event of an irregular, three (3) dimensional object that serves as signage, where the surface area is not readily measurable, the surface area shall be calculated by the largest area of the three (3) dimensional object visible from any one (1) viewing angle.

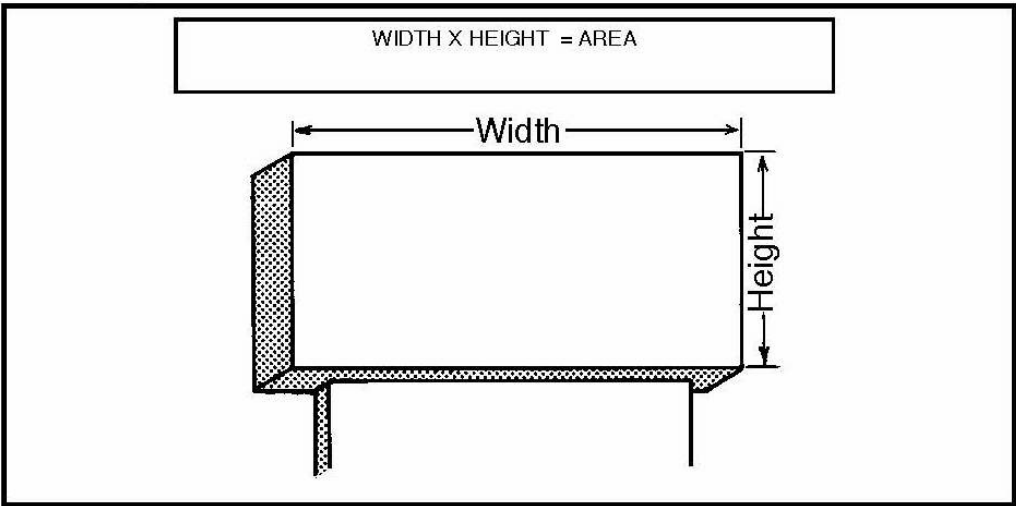


Figure: SIGN SURFACE AREA CALCULATION

Awning

A roof like cover that projects from the wall of a building for the purpose of shielding a door or window from the elements. See Figure: AWNING.

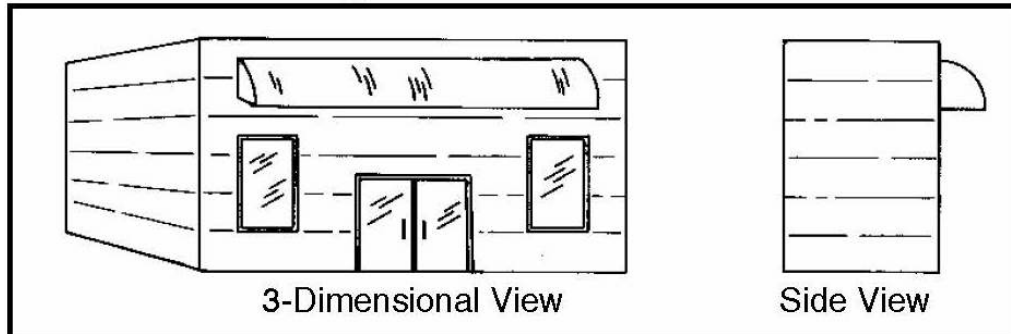


Figure: AWNING

Awning Sign

Any sign erected upon, or against, an awning, which is a roof-like cover that projects from the wall of a building for the purpose of shielding a door or window from the elements. See Figure: AWNING.

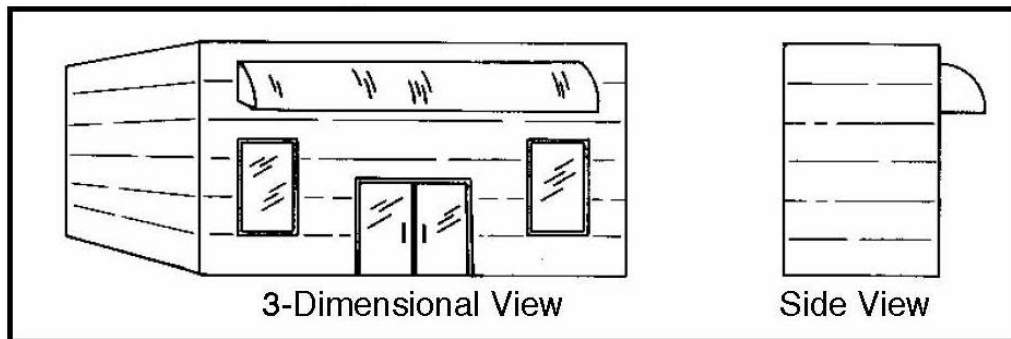


Figure: AWNING

Banner

A sign of a nonpermanent nature constructed of nonrigid materials.

Banner, Decorative Pole-Mounted

A cloth or fabric banner without text or corporate logos mounted to a pole and secured at the top and bottom.

Billboard

Generally, a large outdoor advertising sign, containing a message, commercial or otherwise, unrelated to the use or activity on the property on which the sign is located, and which is customarily leased for commercial purposes, but not including attached directional signs (not within the billboard face) as defined herein. The approximate sizes of the billboard faces range from twelve (12) to fourteen (14) feet in height and twenty-four (24) to forty-eight (48) feet in width.

Building-Mounted Sign

A single- or multiple-faced sign of a permanent nature, made of rigid material, attached to the facade of a building ~~or the face of a marquee, including, without limitation, parapet, awning, marquee, porte-cochere, and canopy-mounted signs.~~

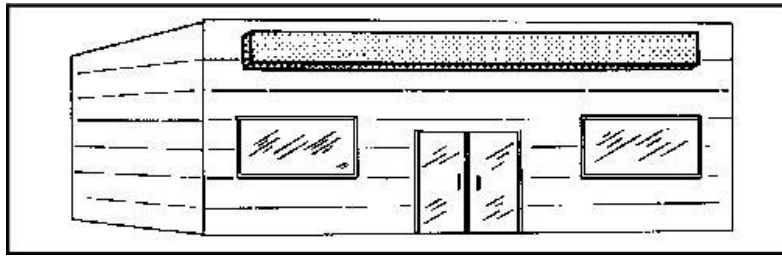


Figure: BUILDING MOUNTED (WALL) SIGN

Canopy

~~A freestanding structure affording protection from the elements to persons or property thereunder.~~

Canopy-Mounted Sign

Any sign or awning erected upon or against a canopy, which is a freestanding structure affording protection from the elements to persons or property thereunder.

Community Use

A public community center, library, museum, park, City Hall, fire station or other public use operated for the benefit of the community.

Construction Sign

An informational sign which identifies the architect, engineers, contractors and other individuals or firms involved with the construction of a building, or announcing the character of the building or enterprise, which is erected during the building construction period.

Dawn to Dusk

That time of the day between sunrise and sunset.

Directional Sign

A single- or double-faced sign not exceeding nine (9) square feet in surface area designed to guide or direct pedestrian or vehicular traffic to an area, place or convenience.

A. Interior Directional Sign

Directional signs oriented to the interior of a site and at least thirty (30) feet from the right-of-way, or not readable from the street.

B. Perimeter Directional Sign

Directional signs oriented to and readable from the street.

Display

The visual information shown on a sign, including text, graphics, pictures, lights and background.

Electronic Sign

A sign containing a display that can be changed by electrical, electronic or computerized process. See SMC 15.600.130, Electronic Signs, for requirements regarding electronic signs.

Facade

The exterior wall face of a building, extending from the ground to the top of the parapet or eaves, but not including any portion of the roof. Each side of a building (i.e., each architectural elevation) is considered one (1) facade (see Figure: FACADE). For buildings with more than one (1) occupant, the facade for each occupant shall be that portion of the exterior wall face between the points where the interior walls between tenants intersect with the exterior wall.

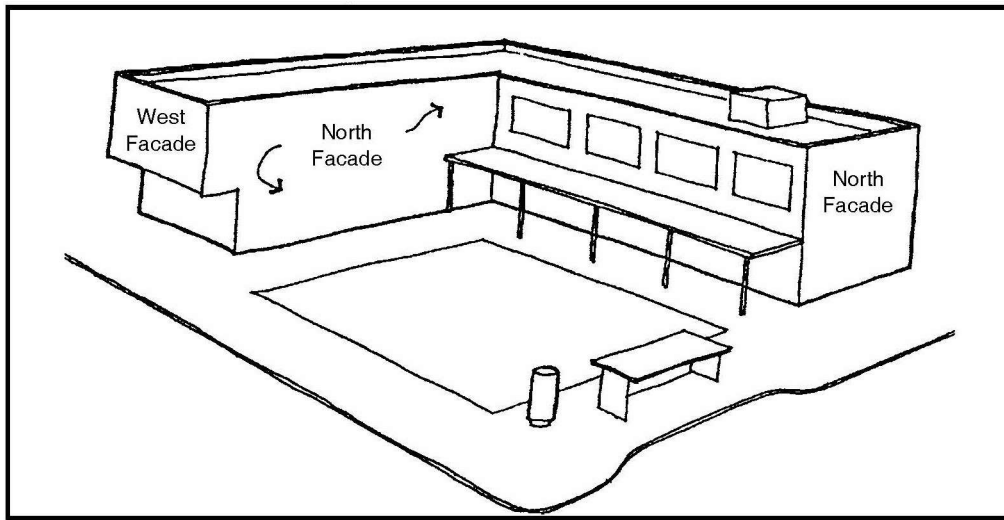


Figure: FACADE

Flashing

A sign display that appears for less than one and one-half (1-1/2) consecutive seconds.

Freestanding Sign

A sign permanently mounted into the ground, supported by poles, pylons, braces or a solid base and not attached to any building. Freestanding signs include those signs otherwise known as “pedestal signs,” “pole signs,” “pylon signs,” and “monument signs.”

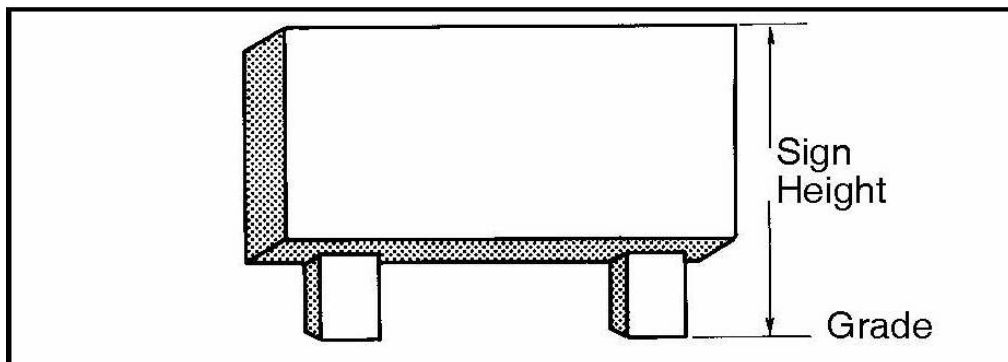


Figure: FREESTANDING SIGN

Grade (Ground Level)

The elevation or level of the street (or parking lot) closest to the sign to which reference is made. In cases where the property on which the sign is located is lower than the immediately adjacent street level, the ground level shall be considered the street level to facilitate visibility of signage. In no case shall a sign be higher than twenty-five (25) feet from the lowest grade of the property adjacent to the street level where the sign is proposed.

Height of Sign

The vertical distance from the grade to the highest point of a sign or any vertical projection thereof, including its supporting columns, or the vertical distance from the relative ground level in the immediate vicinity.

Holographic Display

Any display that creates a three (3) dimensional image through projection. (Note: Holographic displays are prohibited by SMC 15.600.120(F), Prohibited Signs.)

Inflatable Object

An inflatable object larger than eighteen (18) inches in diameter, such as a blimp, large air balloon or inflatable sport equipment, used to attract attention to a special event or grand opening.

Informational Sign

A single- or double-faced sign not exceeding nine (9) square feet in surface area, intended primarily for the convenience of the public or to ensure the orderly operation of the site, including but not limited to signs designating restrooms, address numbers, hours of operation, business directories, help wanted, public telephone, and instructions regarding parking.

A. Interior Informational Sign

Informational signs oriented to the interior of a site and at least thirty (30) feet from the right-of-way or not readable from the street.

B. Perimeter Informational Sign

Informational signs oriented to and readable from the street.

Marquee

~~A permanent roof like structure extending from part of a wall of a building a maximum of six (6) feet and supported solely by the building.~~

Marquee Sign

Any sign that forms part of or is integrated into a marquee, which is a permanent roof-like projecting structure attached to a building, and that does not extend above the height or beyond the limits of such marquee. Also considered an extension of a building-mounted sign.



Figure: ~~MARQUEE~~/MARQUEE SIGN

Message

In an electronic sign, a set of sequential displays that convey related information about a product, service or company.

Monument Sign

A ground-mounted, fixed sign with a height ranging from five (5) to fifteen (15) feet above the average ground elevation. The base (not included in the sign surface area calculation) is attached to the ground as a wide base of solid construction.

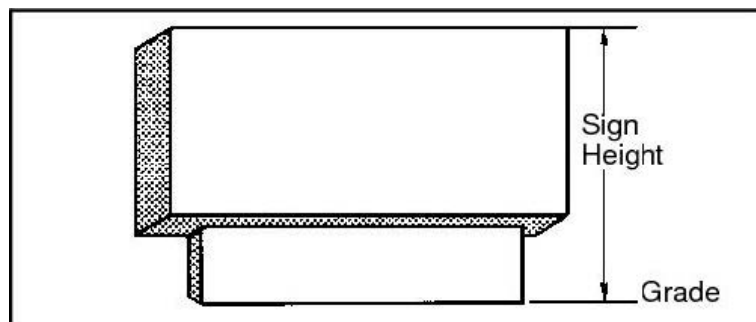


Figure: MONUMENT SIGN

Multiple Building Complex

A group of structures housing more than one (1) type of retail business, office or commercial venture, and generally under one (1) ownership and control.

Multiple Occupancy Building

A single structure housing more than one (1) type of retail business office or commercial venture.

Mural

A design or representation, without letters, numbers, or trademarked graphics, that is painted or drawn on the exterior of a structure facade that does not advertise a business, product, service, or activity of the business contained within the building or structure. A mural may have the signature of the person painting the sign, or copyright ownership of the mural painting.

Mural Sign

A design, or representation with letters, numbers, or trademarked graphics, that is painted or drawn on the exterior of a structure facade that advertises the business, product, service, or activity contained within the building or structure. A mural sign will include the name of the business or activity being conducted within the building or structure. Off-premises mural signs are not permitted.

Neighborhood Unit

A section or area within a multi-family development:

- A. Where the section or area is geographically different or separated from other sections or areas in the development; or
- B. Where the dwelling units have characteristics distinguishing them from the dwelling units in other sections or areas of the development.

Noncommercial Public Service Sign

Noncommercial signs devoted to religious, charitable, cultural, governmental or educational messages.

Office Building

An office building as defined by the City of SeaTac Zoning Code.

Parapet

~~That portion of a building wall which extends above the roof of the building on all building facades (see Figure: PARAPET).~~

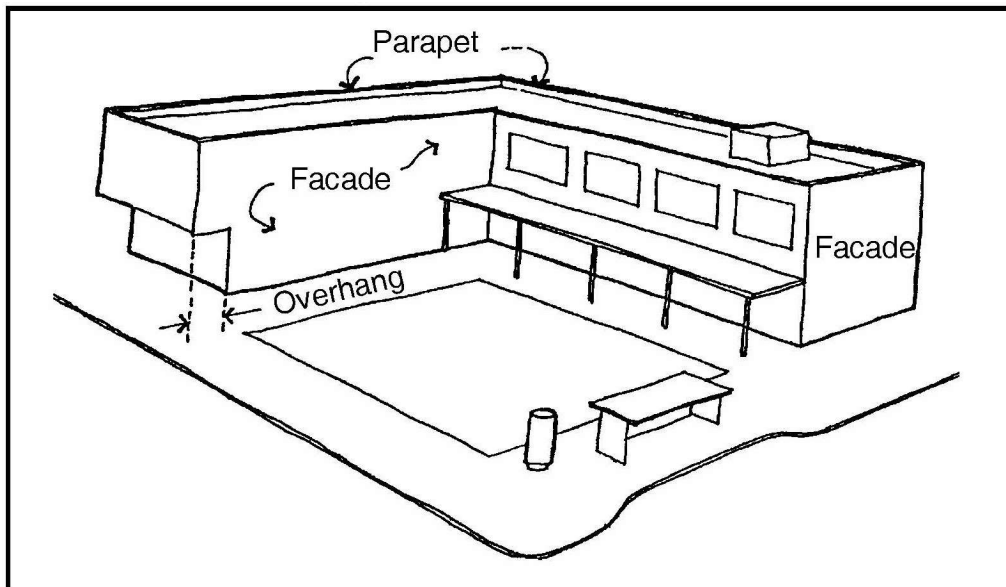


Figure: PARAPET

Parapet Sign

Any sign erected upon the parapet of a building, which is that portion of a building wall which extends above the roof of the building on all building facades; not to exceed the height of any roof structures housing building/ventilation equipment.

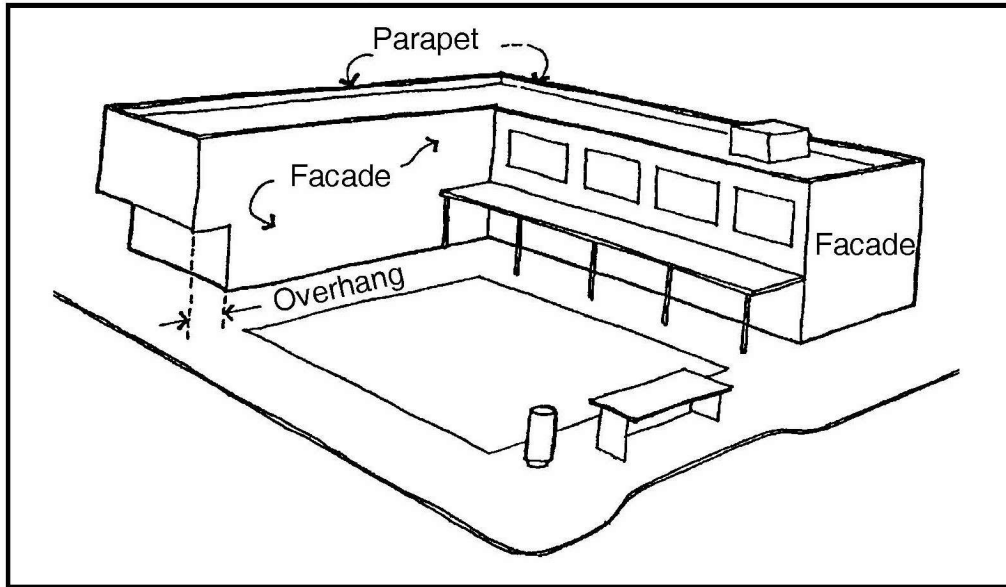


Figure: PARAPET

Pennants

A triangular tapering flag made of any lightweight fabric or other nonrigid material suspended in a series from a rope, wire, or string.

Penthouse

A structure on top of a building roof which houses an elevator shaft or similar form.

Political Sign

Signs advertising a candidate or candidates for public elective office or a political party, or signs urging a particular vote on a public issue decided by ballot.

Portable Sign

A movable sign that is not permanently attached to a structure or the ground. Portable signs include A-frame signs and signs mounted on a portable base, but not portable readerboards.

Porte-Cochere Sign

Any sign erected upon a porte-cochere, which is a covering structure projecting horizontally from and attached to a building, affording protection from the elements; typically used for loading and unloading of vehicles.

Primary Sign(s)

All permitted permanent monument/freestanding and building-mounted signs (see SMC 15.600.030, Commercial/Office/Industrial Zone Classification Signs and 15.600.040, Multi-Family Residential Zone Classification Signs).

Property Line

The line denoting the limits of legal ownership of property.

Readerboard

A sign or part of a sign on which the letters are replaceable by manual means, such as changing magnetic letters on a sign board.

Roof Sign

A sign or sign structure erected above a roof, parapet, canopy or porte-cochere of a building or structure.

Scrolling

The vertical movement of a static message or display on an electronic sign.

Secondary Signs

Allowable signage not falling within the definition of a primary sign; includes directional and informational signs, as well as temporary signs and displays (see SMC 15.600.070, Secondary Signage).

Sign

All surfaces/structures (permitted, exempt, or prohibited) regulated by this chapter that have letters, figures, design, symbols, trademark or devices intended to attract attention to any activity, service, place, subject, person, firm, corporation, public performance, article, machine or merchandise whatsoever.

Sign, Off-Premises

A sign which displays a message relating to a use of property or sale of goods or services at a location other than that on which the sign is located.

Sign, On-Premises

A sign which displays a message which is directly related to the use of the property on which it is located.

Single-Occupancy Building

A commercial building or structure with one (1) major enterprise. A building is classified as “single-occupancy” only if:

- A. It has only one (1) occupant;
- B. It has no wall in common with another building; and
- C. It has no part of its roof in common with another building.

Subdivision Signs

Signs used to identify a land development of a residential nature.

Streamer

A long narrow strip of lightweight fabric or other material suspended in a series from a rope, wire, or string.

Surface Area

See “Area or Surface Area of Sign.”

Surface Area of Facade

The area of that continuous front, side or back surface, including doors and windows, but excluding any roof area and structures or elevators or air-conditioning equipment thereon; provided, that in the case of a roof sign, the surface area of the facade shall be the area of that continuous front, side or back surface immediately beneath the

roof, including doors and windows, but excluding the roof area and structures for elevators or air conditioning thereon.

Temporary Freestanding Sign

A nonpermanent sign securely attached to the ground, intended for use for a limited period of time.

Traveling

The horizontal movement of a static message or display on an electronic sign.

Window Sign

All signs located inside and affixed to or within three (3) feet of a window of a building, whether temporary or permanent, lighted or unlighted, which may be viewed from the exterior of the building. The term does not include merchandise located within three (3) feet of a window. (Ord. 15-1018 § 1)

15.600.030 Commercial/Office/Industrial Zone Classification Signs

B. Standards.

2. **Building-Mounted Signs (Including Parapet, Awning, Marquee, Porte-Cochere, and Canopy-Mounted Signs).** The surface area of any building-mounted sign shall not exceed the figures derived from the following schedule. The size of electronic signs for building-mounted signs is limited by SMC 15.600.130, Electronic Signs.

Surface Area of Facade	Maximum Sign Surface Area
Less than 100 sf	30 sf
100 – 199 sf	35 sf + 11% of facade area over 100 sf
200 – 499 sf	40 sf + 12% of facade area over 200 sf
500 – 999 sf	80 sf + 11% of facade area over 500 sf
1,000 sf or greater	10% of facade

Additionally, the following conditions apply:

- a. In multiple occupancy buildings, the facade area for each tenant or user is derived by measuring only the surface area of the exterior facade of the premises actually used by the tenant or user. The sign displayed by the tenant or user must be located on the facade that was used to determine the size of the sign, except as provided in this section.
- b. Unused sign surface area for a facade may be used by any tenant or user within the same multiple occupancy building if: the display of a secondary sign is necessary to reasonably identify and locate the use, and the provisions of this code do not provide the use with adequate sign display options.
 - ~~i. The applicant files with the City a written statement signed by the tenant or user permitted to utilize that sign area under this code permitting the applicant to utilize the unused sign surface area that is directly related to the tenant.~~
 - ~~ii. The display of a sign on that facade by the secondary sign user will not create a significant adverse impact on dependent sign users of that facade.~~
 - ~~iii. The display of a secondary sign is necessary to reasonably identify and locate the use, and the provisions of this code do not provide the use with adequate sign display options.~~

- c. **Sign Height — Parapet Signs.** The height of any building-mounted/~~canopy sign or parapet sign~~ shall not extend above the highest exterior wall of the building. ~~Additionally, no parapet can be extended above the highest roof ventilation structure.~~
- d. No sign shall be mounted on top of a marquee, porte-cochere, canopy, roof, or other similar structure.
- e. Any building-mounted sign, including any marquee sign, or awning sign attached to a building, shall not project more than six (6) feet from the face of the building to which the sign is attached. Any structural supports shall be an integral part of the design or concealed from view.
- f. All parapet, marquee, and awning signs must be manufactured in such a way that they appear to be a part of the building itself.
- g. Any sign mounted to the facade of a freestanding canopy structure or the facade of a porte-cochere extending more than six (6) feet from a building shall not exceed ~~thirty (30) inches~~ 70 percent of the width or its height: of the fascia the sign is mounted to so as to leave reveal on all sides of the sign and to maintain an appropriate balance between the sign and structure.

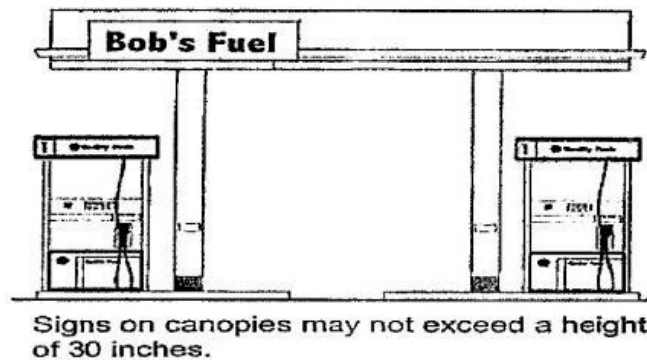


Figure: CANOPY

- h. Window signs shall be considered building-mounted signs for the purposes of this section, and shall be counted as part of the aggregate sign surface area allowed. Window signs shall not be mounted between three (3) feet and seven (7) feet of floor level on any floor of a building, unless such signage does not obstruct visibility through the window.
- i. Decorative lighting including neon and other accent lighting, and any lighted canopy or building panel, shall be considered a building-mounted sign for the purposes of this section, and shall be counted as part of the aggregate sign surface area allowed. The width of any decorative lighting strip or accent shall be considered to extend six (6) inches beyond the limits of the actual strip or accent, where the light flow is unenumerated in that direction.
- j. ~~The width of any decorative lighting strip or accent shall be considered to extend six (6) inches beyond the limits of the actual strip, or accent, where the light flow is unenumerated in that direction.~~
- k. ~~In no case may the maximum sign surface area permitted on a building facade be exceeded. (Ord. 17 1023 § 1; Ord. 15 1018 § 1)~~

15.600.040 Multi-Family Residential Zone Classification Signs

A. **General.** This section applies to:

- Multiple-family buildings and any commercial use, church, school or community use located in the T, UM, UH, CB, RBX, UL, NB, I and O/C/MU zone classifications.

- 2. A sign in these classifications may be internally illuminated, provided that:
 - a. The maximum size allowed for an internally illuminated sign shall be twenty-five (25) square feet.
 - b. The background of any internally illuminated sign shall be dark with only the letters or message of the sign illuminated.
 - c. Neon signage shall not be allowed.
 - d. Internal or external illumination shall not create glare on adjacent traffic corridors.
- 3. See SMC 15.600.130, Electronic Signs, for separate size and other limitations regarding electronic signs.
- 4. The light source for any externally illuminated sign shall be shaded, shielded, directed or reduced so that the light source is not visible from a public street or adjoining residential property. If external illumination is used, documentation shall be provided that clearly shows that light or glare from the external illumination will not impact traffic corridors or adjacent properties. The type of external illumination shall be approved by the Director prior to issuance of a sign permit.

B. Standards.

2. **Building-Mounted Signs (Including Parapet, Awning, Marquee, Porte-Cochere, and Canopy-Mounted Signs).** The surface area of any building-mounted sign shall not exceed the figures derived from the following schedule. The size of electronic building-mounted signs is limited by SMC 15.600.130, Electronic Signs.

Surface Area of Facade	Maximum Sign Surface Area
Less than 100 sf	21 sf
100 – 199 sf	21 sf + 9% of facade area over 100 sf
200 – 499 sf	30 sf + 10% of facade area over 200 sf
500 – 999 sf	60 sf + 9% of facade area over 500 sf
1,000 sf or greater	10% of facade

Additionally, the following conditions apply:

- a. In multiple occupancy buildings, the facade area for each tenant or user is derived by measuring only the surface area of the exterior facade of the premises actually used by the tenant or user, and the sign displayed by the tenant or user must be located on the facade used to determine the size of the sign, except as provided in this section.
- b. Unused sign surface area for a facade may be used by any tenant or user within the same multiple occupancy building, if: the display of a secondary sign is necessary to reasonably identify and locate the use, and the provisions of this code do not provide the use with adequate sign display options.
 - ~~i. The applicant files with the City a written statement signed by the tenant or user permitted to utilize that sign area under this code permitting the applicant to utilize the unused sign surface area.~~
 - ~~ii. The display of a sign on that facade by the nondependent sign user will not create a significant adverse impact on dependent sign users of that facade.~~
 - ~~iii. The display of the nondependent sign is necessary to reasonably identify the use, and the provisions of this code do not provide the use with adequate sign display options.~~

- c. **Sign Height – Parapet Signs.** The height of any building-mounted/canopy or parapet sign shall not extend above the highest exterior wall of the building. ~~Additionally, no parapet can be extended above the highest roof ventilation structure.~~
- d. No sign shall be mounted on top of a marquee, porte-cochere, canopy, roof, or other similar structure.
- e. Any building-mounted sign, ~~including any marquee sign, or awning sign attached to a building,~~ shall not project more than six (6) feet from the face of the building to which the sign is attached. Any structural supports shall be an integral part of the design or concealed from view.
- f. All parapet, marquee, and awning signs must be manufactured in such a way that they appear to be a part of the building itself.
- g. Any sign mounted to the facade of a freestanding canopy structure or the facade of a porte-cochere extending more than six (6) feet from a building shall not exceed thirty (30) inches in height.
- h. Window signs shall be considered building-mounted signs for the purposes of this section, and shall be counted as part of the aggregate sign surface area allowed. Window signs shall not be mounted between three (3) feet and seven (7) feet of floor level on any floor of a building, unless such signage does not obstruct visibility through the window.
- i. Decorative lighting including neon and other accent lighting, and any lighted canopy or building panel, shall be considered a building-mounted sign for the purposes of this section, and shall be counted as part of the aggregate sign surface area allowed. The width of any decorative lighting strip or accent shall be considered to extend six (6) inches beyond the limits of the actual strip, or accent, where the light flow is unencumbered in that direction.
- ~~j. The width of any exposed neon sign, and any decorative or accent lighting where the light flow is unencumbered by a cover shall be considered to extend six (6) inches beyond the limits of the actual sign, strip, or accent, where the light flow is unencumbered in that direction.~~
- ~~k. In no case may the maximum sign surface area permitted on a building facade be exceeded. (Ord. 15-1018 § 1)~~