

## **Division III. Zoning Overlays**

There are two categories of zoning overlays; “overlay districts” and “special district overlays (SDO)”.

The first category, called “overlay districts”, applies to geographically defined areas with boundaries that are established in the SeaTac Comprehensive Plan and Zoning Code. This category includes the City Center Overlay District and the South 154<sup>th</sup> Street Station Area Overlay District.

Each of these areas “overlays” numerous base zoning categories. Where the regulations of the zoning code for the overlay zone differ from the regulations of the underlying base zone, the overlay regulations shall supersede.

The second category, called “special district overlays” or “SDOs”, does not apply to a defined geographic area but, rather, is approved on a case by case basis through the rezone process prescribed in 15.115.700 Zone Reclassification (Rezone). There are two types of overlays in this category: the Equestrian Special District Overlay (SDO) and the Residential Low-5000 Special District Overlay (SDO).

A Zoning Code Chapter for each of the overlays described above is included in this Division.

### **CHAPTERS**

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<b>15.300</b>	<b>City Center Overlay District</b>
<b>15.310</b>	<b>South 154<sup>th</sup> Street Station Area Overlay District</b>
<b>15.315</b>	<b>Equestrian Special District Overlay (SDO)</b>
<b>15.320</b>	<b>Residential Low-5000 Special District Overlay (SDO)</b>

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## **Chapter 15.300**

### **City Center Overlay District**

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#### **15.300.020 Authority and Applications**

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**15.300.010 Purpose**

- A. The following special standards are intended to implement the City's vision for a City Center/central business district as set forth in the City of SeaTac Comprehensive Plan, by promoting integrated development and pedestrian-oriented design, a diversity of uses within close proximity, a linked series of open spaces, and a focal point for community identity.
- B. Each standard includes examples and illustrations of ways in which the intent of the standard could be achieved. The graphic illustrations are meant to be examples, and not the only acceptable means to accomplishing the intent of the illustrated standards. Applicants and project designers are encouraged to consider designs, styles and techniques not pictured in the examples that fulfill the intent of the design standard.

**15.300.020 Authority and Applications**

- A. The provisions of this chapter shall apply to the City Center Overlay District as delineated in the City Center Overlay District Map (see Figure 15.300.020 at the end of this section). Within the City Center Overlay District, Chapter 15.300 SMC shall supersede existing regulations elsewhere in SMC Title 15 when in conflict with this chapter.
- B. The provisions of this chapter shall apply to all development meeting one (1) or more of the following thresholds:
  - 1. All new construction requiring building permits; and/or
  - 2. Major Redevelopment. Additions or alterations to a building or site, excluding interior-only improvements, which total fifty percent (50%) or more of the gross square footage (GSF) of the existing building(s) or site.

Only the portions of the building or site being altered or added to shall be required to integrate City Center Overlay District standards into the design of the alteration or addition. Project applicants proposing additions or alterations to a building or site conforming to the above criteria for major redevelopment shall arrange a pre-design meeting with planning staff prior to meeting with the Development Review Committee in order to establish those design standards applicable to the proposed addition or alteration.

- C. In order to provide flexibility and creativity of project designs, departures from these overlay district standards may be permitted (except to SMC 15.500.805 Maximum Parking Permitted), subject to the approval of the Director of Planning and Community Development:
  - 1. If the strict interpretation or application of these special standards would be

inconsistent with related provisions of the Zoning Code or would be contrary to the overall purpose or intent of City goals and objectives for the City Center Overlay District or Comprehensive Plan; or

2. If it can be shown that the overall project design and feasibility can be improved.
- D. In order to provide flexibility, to permit creativity of design, style, and technique, and to provide for phased development and interim uses, Development Agreements may be entered into by and between the City and property owners or developers, pursuant to RCW 36.70B.170 through 36.70B.200; provided, that the terms of any such development agreement shall be consistent with the purpose and intent of this chapter. Special conditions or exemptions established for a particular site or project through a development agreement shall include criteria or date for the termination of any such agreement.
- E. Single-family homes are exempt from the provisions of this chapter. In addition, the following zoning designations and related land uses are exempt from the provisions of this chapter:
1. Residential Low (RL);
  2. Aviation operations (AVO) and aviation commercial (AVC).
- F. Development and application of these standards, where applicable, shall be consistent with the Inter Local Agreement (ILA) between the City of SeaTac and the Port of Seattle, adopted September 4, 1997.
- G. Standards for High Capacity Transit Facilities, as identified in Chapter 15.505 High Capacity Transit Facilities Design Standards SMC, shall apply to all applicable development within the City Center Overlay District.

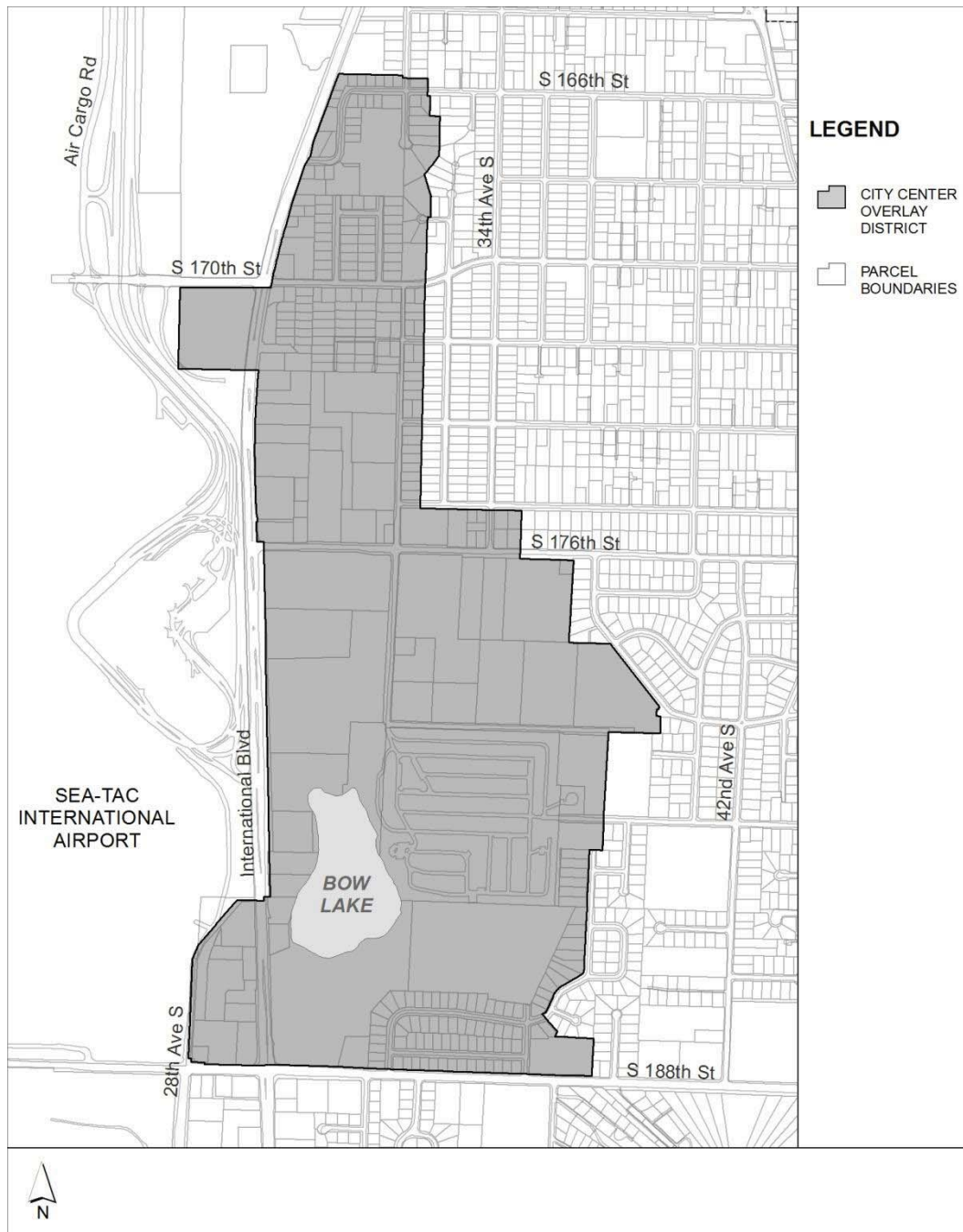


Figure 15.300.20 CITY CENTER OVERLAY DISTRICT MAP BOUNDARIES

### 15.300.030 Development Plan – Filing Requirements

Development applications must be submitted in sufficient detail to allow review of the project in accordance with the special standards of this chapter, SEPA requirements, and other applicable provisions of this code.

In addition to existing application requirements, the following information, at a minimum, must be included as elements in every City Center Overlay District development

application:

- A. **Site Plan.** A site plan, at a scale no smaller than one (1) inch to twenty (20) feet, must show the following:
1. The location, size and finished grade of all proposed and existing on-site structures, as well as the existing topography and the grade of all public or private streets adjacent to the site;
  2. A circulation plan which depicts access to the site and the vehicular, pedestrian and bicycle traffic flow on-site, as well as links with developments on adjoining parcels. Site access and circulation shall be approved by both the Director of Public Works and the Director of Planning and Community Development;
  3. The location, arrangement, and total square footage of on-site useable open space areas, as specified in City Center open space standards in SMC Chapter 15.460 Open Space.
  4. Links to open spaces and landscaped areas on adjacent parcels;
  5. The lot lines and footprints of all structures on all parcels within two hundred (200) feet of the boundaries of the project parcel; and
  6. Provide details on how all mechanical and utility rooftop equipment will be screened.
- B. **Building Elevations.** For SEPA review, preliminary elevations will be accepted. A complete set of elevation drawings for proposed buildings on the project site showing trim details, dimensions and exterior materials including roofing, siding, windows and trim will be necessary for design review.

**15.300.100 City Center Overlay District Use Chart**

The use chart in SMC 15.300.115 presents uses that are allowed and prohibited within the City Center Overlay District. The chart indicates the land uses permitted (P), permitted as a conditional use (C), or not permitted (blank cell) in each zone.



### 15.300.110 Use Chart User Guide

A. **About the Use Chart.** The following chart lists all of the permitted and conditional land uses allowed in each zone.

B. **How to Use the Use Chart.** The land uses are listed vertically along the left hand side and the zones are listed horizontally across the top. Each square in the chart shows the following possibilities for the use and the zone:

1. **P:** The use is permitted.
2. **C:** The use is allowed subject to a conditional use permit.
3. **Pa:** The use is permitted only as an accessory to the primary use of the site and shall not exceed twenty-five percent (25%) of the total building square footage.
4. **Ca:** The use is allowed subject to a conditional use permit and only as an accessory to the primary use of the site and shall not exceed twenty-five percent (25%) of the total building square footage.
5. **/rmu:** The use is allowed as part of a residential mixed-use development.
6. **/mu:** The use is allowed as part of a mixed-use development.
7. **n:** The user should refer to the regulations listed in the far right column for that use and zone.
8. If the square is blank, the use is not permitted in that zone.

C. **Additional regulations according to use.** The column on the far right lists additional regulations which apply to that particular use. If the regulation is not preceded by an “n”, the regulation applies to all zones.

D. **Zone Abbreviations.**

1. **RM** – Residential Medium
2. **RH** – Residential High
3. **RH-MU** – Residential Mixed-Use
4. **RT** – Residential Townhouse
5. **NC** – Neighborhood Commercial

6. **CM-1**– Commercial Medium-1
7. **CM-2**– Commercial Medium-2
8. **CH**– Commercial High

For information on how to read the Use Chart, see the Use Chart User Guide in section 15.300.110. For zone purpose statements, see 15.200. For definitions of uses, see 15.105.

## 15.300.115 City Center Use Chart

LAND USE	RL	RM	RH	RH-MU	RT	NC	CM-1	CM-2	CH	ADDITIONAL REGULATIONS
Kennel/ Cattery						P			Pa	
Stables										
Veterinary Clinic				Prmu		P	C	Prmu	P	
<b>BUSINESS SERVICES</b>										
Cargo Containers				Pa-n		Pa n	Pa n	Pa n	Pa n	Chapter 15.420: Cargo Containers n: Not permitted as accessory to dwelling units
Conference/ Convention Center								P	P	
Construction/ Landscaping Yard										
Distribution Center/Warehouse										
Equipment Rental, Large										
Equipment Rental, Small						C		Pa	Pa	
Equipment Repair, Large										
Equipment Repair, Small						P		Pa	Pa	
Heliport										
Helistop									C	
Professional Office			Prmu	Prmu		P	Prmu	P	P	
Storage, Self-Service										
Truck Terminal										
<b>CIVIC &amp; INSTITUTIONAL</b>										
Cemetery										
City Hall	P						Prmu	P	P	
Court	P						Prmu	P	P	
Fire Facility	C	P	P	P		P	P	P	P	
Funeral Home/Crematory						P		Pa	Pa	
Police Facility	C	P	P	P		P	P	P	P	
Public Agency Office			Prmu	Prmu		P	Prmu	P	P	
Public Agency Yard										
Social Service Office			Ca	Prmu		P	Prmu	P	P	
<b>EDUCATIONAL</b>										
College/University	C	C	C	P			P	P	P	
Elementary-Middle School	C	C	C	C					C	
High School	C	C	C	C		C			C	
Specialized Instruction School	P/C-n	P	P	Prmu		P	P	P	P	n: Permitted only as subsidiary use, Chapter 15.490: Subsidiary Uses
Vocational School				C			P	P	P	



For information on how to read the Use Chart, see the Use Chart User Guide in section 15.300.110. For zone purpose statements, see 15.200. For definitions of uses, see 15.105.

## 15.300.115 City Center Use Chart

LAND USE	RL	RM	RH	RH-MU	RT	NC	CM-1	CM-2	CH	ADDITIONAL REGULATIONS
Auto Wrecking										
Commercial Marine Supply										
Electric Vehicle Infrastructure		P-n	P-n-1	P-n-1	P-n	P	P	P	P	n: Restricted electric vehicle charging only n-1: Battery charging stations only, limited in use only to tenants or customers of the development located on-site
Fueling/ Service Station						C			P	Chapter 15.435: Fueling/ Service Stations
Mobile Refueling Operation	P	P	P	P	P	P	P	P	P	Chapter 15.455: Mobile Refueling Operations
Parking, Commercial/ Public						C		C	P	Only 1 parking structure per site
Parking, Park-and-Fly						C		C	P	Parking, Park-and-Fly uses are only permitted within a structure. See SMC 15.465.730 (D) for provisions regarding park-and-fly surface lot as an interim use.  Maximum number of spaces for a stand alone park-n-fly use is 300.  Only 1 parking structure per site.
Tire Retreading										
Towing Operation										
Vehicle Rental, Large										
Vehicle Rental, Small									P	
Vehicle Repair, Large									P-n	n: Repair of vehicles with a gross vehicle weight of up to 19,500 pounds allowed
Vehicle Repair, Small										
Vehicle Sales/ Dealer, Large										
Vehicle Sales/ Dealer, Small									Pa	
<b>RECREATIONAL &amp; CULTURAL</b>										
Amusement Park								C	C	
Community Center		C	C	Prmu		P	Prmu	P	P	
Golf Course										
Library	P	P	Crmu	Prmu		P	P	P	P	
Meeting Facility	C	C	Crmu	Prmu		P	Prmu	Prmu	Prmu	
Museum		C	Crmu	Prmu		P		P	P	
Park	P	P	P	P	P	P	P	P	P	
Recreation Facility, Indoor	P/C -n		P-n-1	Prmu		P-n-1	Prmu	Prmu	P	n: Permitted only as subsidiary use, see Chapter 15.490: Subsidiary Uses n-1: Small resident-oriented use only, not to exceed 5,000 square feet in total gross feet

For information on how to read the Use Chart, see the Use Chart User Guide in section 15.300.110. For zone purpose statements, see 15.200. For definitions of uses, see 15.105.

## 15.300.115 City Center Use Chart

LAND USE	RL	RM	RH	RH-MU	RT	NC	CM-1	CM-2	CH	ADDITIONAL REGULATIONS
Recreation Facility, Outdoor	P/C -n									n: Permitted only as subsidiary use, see Chapter 15.490: Subsidiary Uses
Religious Use Facility	C, P/C -n	C	P	Prmu		P	P	P	P	n: Permitted only as subsidiary use, see Chapter 15.490: Subsidiary Uses
Stadium/ Arena/ Auditorium								C	C	
<b>RESIDENTIAL</b>										
Dormitory						C	Prmu	P	P	Only permitted as part of a townhouse development. n: Only permitted in RH-1,800
Duplex		P	P-n		P	C	P			
Dwelling Unit, Caretaker/ Manager									P	
Dwelling Unit, Detached	P	P								
Dwelling Unit, High Density Single-Family		P								Chapter 15.510: High Density Single-Family Design Standards
Manufactured Home (HUD)	P	P								Chapter 15.450: Mobile Homes, Manufactured Homes and Mobile Home Parks
Mobile Home (nonHUD), Manufactured										Chapter 15.450: Mobile Homes, Manufactured Homes and Mobile Home Parks
Mobile Home Park		C	C	€						Chapter 15.450: Mobile Homes, Manufactured Homes and Mobile Home Parks
Multi-Family		P	P	Prmu		Prmu	Prmu	P-n	P-n	n: Mixed-use required when adjacent to Principal and Minor Arterials
Multi-Family, Senior		P	P	Prmu		Prmu	Prmu	P-n	P-n	n: Mixed-use required when adjacent to Principal and Minor Arterials
Townhouse		P	P-n		P	C	P			n: Only permitted in RH-1,800
<b>RESIDENTIAL, ACCESSORY</b>										
Accessory Dwelling Unit	P	P								Chapter 15.405: Accessory Dwelling Unit
Canopy	P									Chapter 15.410: Accessory Structures
Home Occupation	P	P	P	P	P	P	P	P	P	Chapter 15.440: Home Occupations
Shed/Garage	P	P	P	P	P		P			Chapter 15.410: Accessory Structures
Tent	P									Chapter 15.410: Accessory Structures
<b>RETAIL &amp; COMMERCIAL</b>										
Agricultural Crop Sales (Farm Only)						P				
Arcade (Games/ Food)			Pa	Prmu		P	Prmu	Prmu	P	
Bed and Breakfast/ Guesthouse	P	P	P	P	P	P	P	C		The maximum number of rooms is four (4) and the maximum number of guests is eight (8)
Drinking Establishment				Prmu		P-n	Prmu	Prmu	P	n: Small resident-oriented use only, not to exceed 5,000 square feet in total gross feet
Dry Cleaner			Prmu-n	Prmu		P	Prmu	Prmu	P	n: Small resident-oriented use only, not to exceed 5,000 square feet in total gross feet
Espresso Stand			Pa			P		P	P	

For information on how to read the Use Chart, see the Use Chart User Guide in section 15.300.110. For zone purpose statements, see 15.200. For definitions of uses, see 15.105.

## 15.300.115 City Center Use Chart

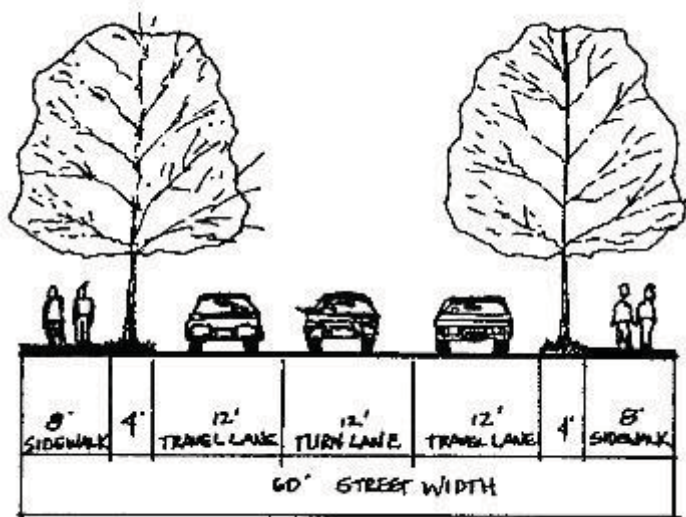
LAND USE	RL	RM	RH	RH-MU	RT	NC	CM-1	CM-2	CH	ADDITIONAL REGULATIONS
Farmers/Outdoor Markets						P			P	
Financial Institution				Prmu		P	P	P	P	
Food Establishment, Fast Food			Ca	Prmu			Prmu	Pmu	P	
Food Establishment, Sit Down			Ca	Prmu		P	Prmu	Pmu	P	
Hotel/ Motel/ Lodging			C-n			P	C	P	P	n: Only allowed on UH zoned properties south of S. 184th St. Maximum height allowed is thirty (30) feet. Maximum number of hotel rooms may not exceed 130 rooms. Conference or meeting facilities may not be expanded.
Laundromat			Prmu-n	Prmu		P	Prmu	Pmu	P	
Liquor Store							Cmu	Pmu	P	
Lumberyard										
Mini-Casino									P-n	n: Permitted only as accessory to business primarily engaged in the selling of food or drink for consumption on the premises - see mini-casino definition in Division I for additional requirements
Movie Theater				Prmu		P		P	P	
Personal Grooming and Health Services			Pa	Prmu		P	Prmu	Pmu	P	
Retail, Big-Box									P	
Retail, General			Pa	Prmu		P	Prmu	Pmu	P	
Sexually-Oriented Business									C	Chapter 15.485: Sexually-Oriented Business
Theater/Night Club/Entertainment Club				Crmu		P		Pmu	P	
<b>UTILITIES</b>										
Utilities, Large	C	C	C	C	C	C	C	C	C	
Utilities, Medium	C	C	C	C	C	C	C	C	C	
Utilities, Small	P	P	P	P	P	P	P	P	P	
Wireless Communications Facilities & Communications Facilities	15.495: Wireless Communication Facilities, Review and Approval Process, Tables B & C									

## 15.300.200 Circulation

**Purpose:** Sufficient vehicular circulation should be provided through the establishment of an adequate network of collectors and minor arterials. Pedestrian corridors should be inviting in their overall design, such as through the provision of street furniture and landscaping, and should feel secure by providing adequate safety measures, such as lighting.

## 15.300.210 Vehicular Circulation Requirements

- A. All new City Center Overlay District streets shall be constructed within a minimum forty-eight (48) foot wide corridor (including streetfront pedestrian zones), and shall generally conform to the adopted City Center Plan. Pedestrian and vehicular circulation within the City Center Overlay District is intended to provide for public access, safe traffic flow, and connections to established vehicular and pedestrian routes, and is not intended to be applied prescriptively. Vehicular circulation shall be as approved by both the Director of Planning and Community Development and the Director of Public Works.
1. All collector streets shall be a minimum of forty-eight (48) feet in width and meet all applicable City Department of Public Works specifications.
  2. All minor arterials shall be a minimum of sixty (60) feet in width and meet all City Department of Public Works specifications.





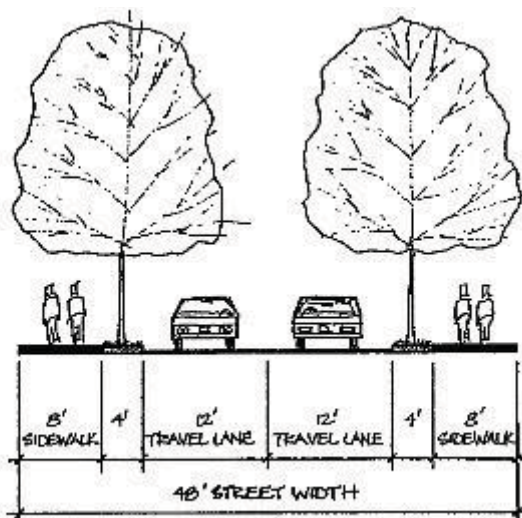


Figure 15.300.210a STREET WIDTH CROSS SECTION

- B. All streets shall be designed to create blocks which are no greater than four hundred (400) feet on a side. In cases where topographic or other environmental constraints preclude the creation of a four hundred (400) feet by four hundred (400) feet block size, the four hundred (400) foot maximum block length shall apply to only two (2) sides of a block, and the maximum block length may be waived by the Director of Planning and Community Development.

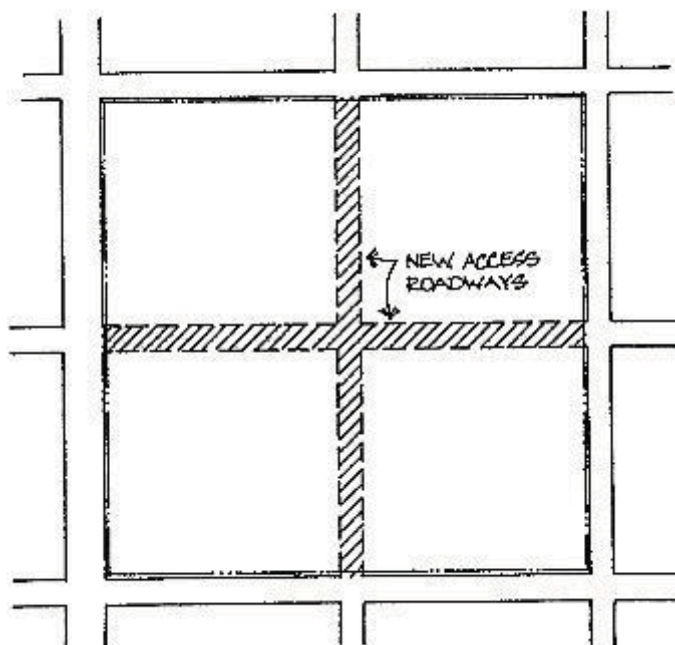


Figure 15.300.210b STREET BLOCK CROSS SECTION

- C. An owner or developer shall coordinate with owners of adjacent parcels and

consolidate, wherever possible, vehicular circulation routes to interconnect public and/or private streets in conformance with the adopted City Center Plan. Where appropriate, circulation corridors shall extend to the boundary line of the site parcel in order to provide for future development of adjacent parcels and connections with existing public and/or private streets.

- D. Dead-end streets shall be permitted only where there is no feasible connection with an adjacent public and/or private street.
- E. Half-streets shall not be allowed, except as an interim circulation route as approved by both the Director of Planning and Community Development and the Director of Public Works, in which the other half of the public or private street shall be developed on an adjacent parcel.
- F. Public and private streets should not be enclosed. In cases where buildings are allowed to span public or private streets, the following standards shall apply:
  - 1. The minimum ceiling height shall meet highway standards;
  - 2. Lighting sufficient to provide a safe pedestrian environment shall be in operation at all times;
  - 3. At the time of development, ground level retail space shall be constructed in accordance with the provisions specified in SMC Chapter 15.500 Commercial and Mixed Use Development Design Standards, except as provided below:
    - a. Ground level retail space shall be constructed either on one (1) side of City Center Overlay District streets (collectors or minor arterials), for the full length of the enclosed area; or
    - b. Shall be constructed on both sides of the collector or minor arterial for fifty percent (50%) of the length of the enclosed area; and
    - c. Shall be served by the minimum utilities necessary for occupancy. These utilities include electricity, and sewer and water service;
  - 4. Ground level retail space shall conform to the ground level transparency requirements specified in SMC 15.300.410 Ground Floor Transparency Requirements;
  - 5. A minimum of one (1) piece of public art, approved by the Director of Planning and Community Development, shall be included for every fifty (50) feet of enclosed length. Art work may include, but is not limited to the following suggestions:

- a. Artistic wall treatments such as painted murals, bas-relief murals, photographic montages, mosaics;
  - b. Artistic pavement or ceiling treatments as approved by the Director of Planning and Community Development;
  - c. Neon lighting sculptures or other artistic lighting displays;
6. Ventilation systems to provide air inside the covered area that is at least as clean as ambient levels in the City Center Overlay District outside. The enclosure shall be in operation at all times;
  7. The interior space of the covered area shall appear in all aspects to be “pedestrian-oriented.”

### **15.300.220 Pedestrian Circulation Requirements**

- A. All site plans proposing multiple buildings designed for residential occupancy or business access shall connect building entrances to one another and to pedestrian ways on adjacent public and/or private streets via a minimum four (4) foot wide walkway system separated from vehicular traffic. Public sidewalks may be considered part of the walkway system if they provide convenient movement between structures. Fences, landscaping and other site improvements shall be located so as not to impede safe and convenient pedestrian circulation.
- B. On-site pedestrian ways shall be designed to connect to off-site pedestrian way systems on adjoining properties and public and/or private streets. On-site extensions of pedestrian circulation systems shall align with existing pedestrian off-site links.
- C. Pedestrian-only corridors separate from the vehicular street system, as specified by the adopted City Center Plan (see “Pedestrian Connections” in City Center Plan, Figure 5.1), shall be a minimum of twenty (20) feet wide with a minimum twelve (12) foot pathway of an approved surfacing material.

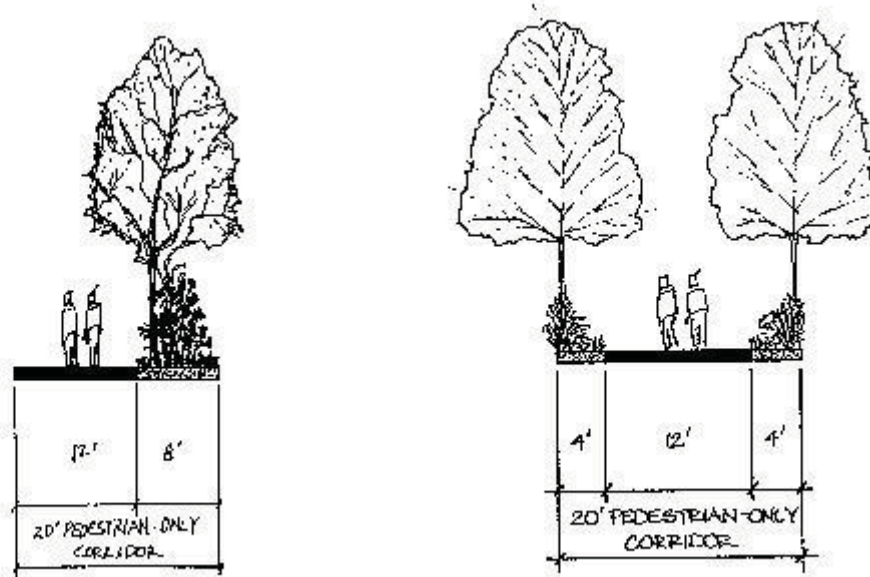


Figure 15.300.220a PEDESTRIAN CORRIDOR CROSS SECTION

- D. Buildings or structures approved by the Director of Planning and Community Development to be built across a designated pedestrian-only corridor, as specified in the City Center Plan (see “Pedestrian Connections” in City Center Plan, Figure 5.1), shall provide public pedestrian access through said structures at least between the hours of 6:00 a.m. and 8:00 p.m. daily.
- E. Public easements for pedestrian circulation shall be open to the public twenty-four (24) hours a day, except as specified in subsection (D) of this section. Private easements for pedestrian circulation should remain open to the maximum extent possible.
- F. Primary pedestrian circulation and access shall be at grade. Elevated pedestrian walkways, if approved by the Director of Planning and Community Development, may be permitted for the following purposes:
1. To provide an extension to or direct connection with an elevated walkway/moving sidewalk;
  2. To overcome obstacles of terrain;
  3. To connect immediately adjacent components of a single development; or
  4. To connect with elevated transit stations.
- G. To promote public transit use, paved sidewalks or walkways shall be provided

between building entrances and the nearest transit stop located within or adjacent to the subject property. Wherever possible, buildings shall be sited adjacent to or connected with transit stop facilities. Lighting shall be provided along pedestrian walkway connections and adjacent to transit stop facilities.

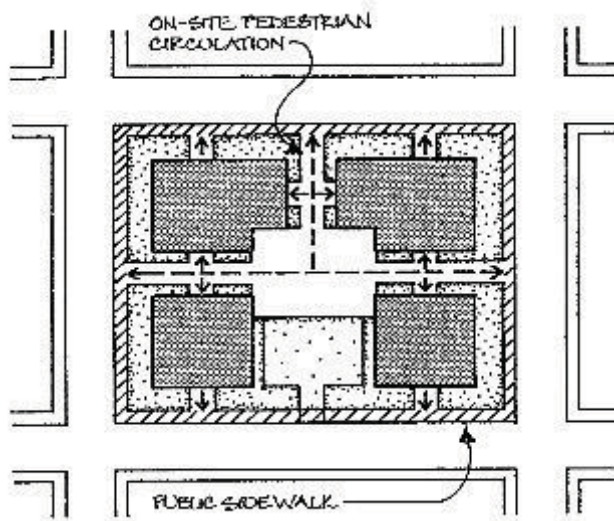


Figure 15.300.220b PEDESTRIAN CORRIDOR CROSS SECTION

### 15.300.300 Site Planning and Building Orientation

**Purpose:** Design structures to have both an external orientation, to the streetscape, and an internal orientation, to the pedestrian environment with unifying open space and pedestrian pathways. Design emphasis should be given to the pedestrian, rather than the auto environment, through placement of parking in a less prominent location (such as underground, or to the rear of the building, rather than in front), the requirement of pedestrian-level retail space; treatment of blank walls and facades and incorporation of prominent architectural features. Site layout should emphasize coordination of open spaces and pedestrian access with adjacent development or public places and compatibility with adjacent development with regard to scale, proximity and landscaping. Lighting and landscaping should allow for safety and visibility of public and semi-public areas.

### 15.300.310 Building Placement/Setbacks

- A. For City Center Overlay District properties zoned RH-MU, CH and CM-2, the maximum front yard setbacks shall be as follows, except as provided in City Center parking structure standards in SMC 15.465.832 Location:
1. Twenty (20) feet adjacent to International Boulevard, for at least fifty percent (50%) of the building's front facade;
  2. Ten (10) feet adjacent to all other City Center Overlay District public and/or

private streets, as specified in the City Center Plan (see City Center Plan, Figures 5.1 – 5.1b), for at least fifty percent (50%) of the building's front facade.

- B. The front facade of the primary building(s) on-site shall be oriented toward the front property line, with the main pedestrian entrance(s) located on this front facade. Additional building entrances may be oriented toward the rear or side of the building for access to and from parking lots.
- C. At least fifty percent (50%) of the building's front facade shall be located within the maximum front yard setback, as specified in subsections (A)(1) and (2) of this section. The remaining portions of the front facade may be stepped back a maximum of twenty (20) feet more than the established maximum setback, as approved by the Director of Planning and Community Development, for the purpose of accommodating public open space, porte cocheres, or recessed building entries.
- D. Building placement and setback shall be arranged to accommodate the front yard open space requirement as specified in City Center open space standards in SMC Chapter 15.460 Open Space and Amenities.
- E. For projects in the CH Zone, where the side and rear setbacks in the dimensional standards chart in SMC 15.400.025 conflict with the required landscaping in SMC Chapter 15.445 Landscaping and Tree Retention, the side and rear yard setbacks in SMC 15.400.025 shall supersede. This shall not apply where side and rear property lines abut a residential zone.

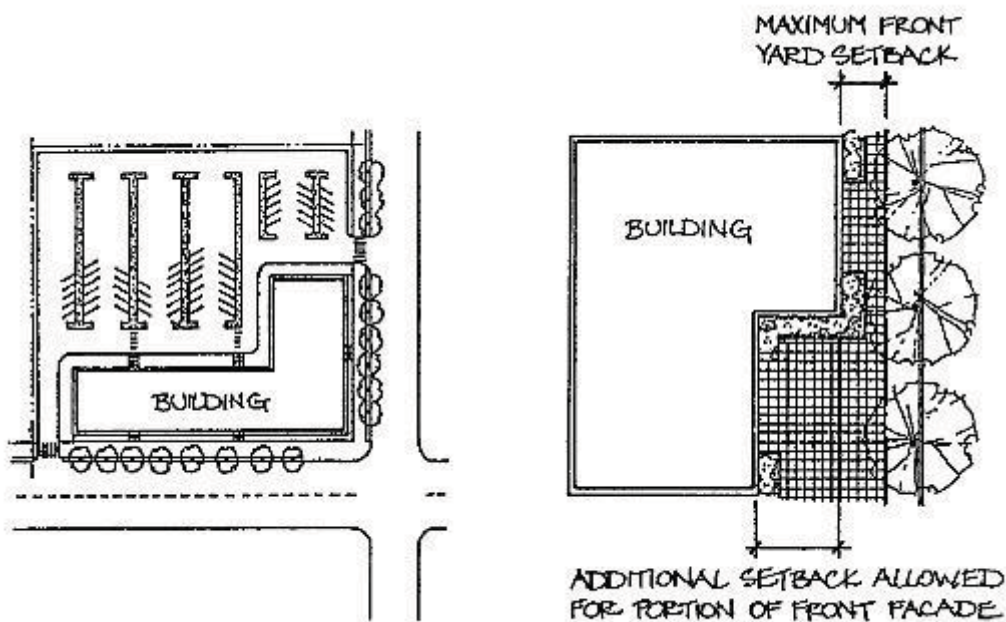


Figure 15.300.310 BUILDING PLACEMENT

### 15.300.320 Development Abutting Two (2) or More Street Frontages

- A. Buildings on corner lots shall orient front facades to both the corner and adjacent public and/or private street fronts. Pedestrian entries near or on the corner are encouraged.
1. Development at the intersection of a principal arterial with either a principal or minor arterial shall include architectural focal points that increase the visibility and landmark status of corner buildings, such as one (1) or more of the following:
    - a. Transparent glazing incorporated into corner building design;
    - b. Tower elements and/or roof lines that accentuate the corner;
    - c. Balconies or building terraces at or near the corner.
- B. If the subject property abuts public and/or private streets classified as principal arterials by the SeaTac Comprehensive Plan along both its front and rear property lines, then the property owner shall either:
1. Design a single building with facade entries oriented toward both the front and rear property lines; or
  2. Orient one (1) or more buildings toward the front property line along with a designated location for a current or future building or buildings oriented

toward the rear property line.

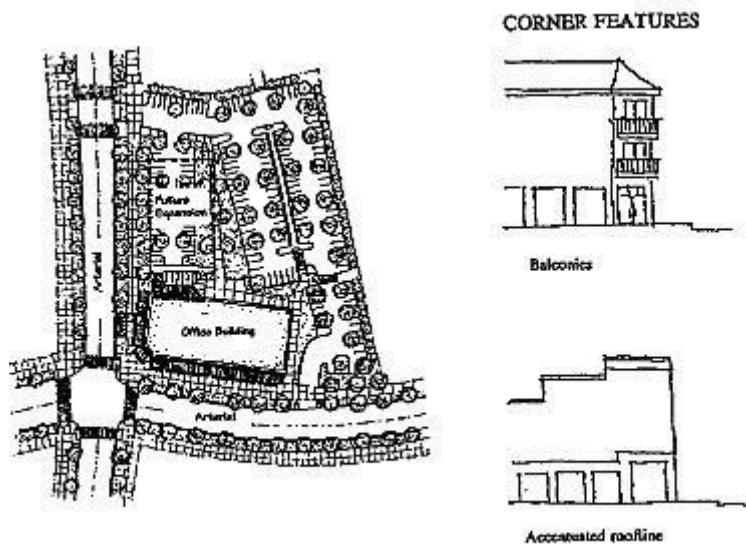


Figure 15.300.320a BUILDING ARTICULATION

### 15.300.330 Relation to Adjacent Development

Proposed developments shall coordinate with current site planning and development efforts on adjoining parcels to take advantage of opportunities to mutually improve development design.

- A. Adjacent developments shall link open spaces and landscaping whenever possible.
- B. Proposed developments shall provide publicly accessible pedestrian connections to adjacent residential neighborhoods wherever possible, via a through-block walkway or links to sidewalks. Provide stairs or ramps where necessary when topographic barriers, such as steep slopes, inhibit direct access to surrounding development or destination points, such as transit stops.
- C. Where multi-family residential development is located adjacent to retail, commercial, employment, or institutional uses, side and/or rear yard landscape buffers shall be intersected by approved pedestrian circulation routes in order to facilitate convenient walking connections to adjacent uses or services.
- D. Buildings or structures that terminate view corridors shall include architectural features that increase the visibility and landmark status of the subject building facade, such as a clearly defined building modulation, pedestrian entry feature, and/or roof line that accentuates the building as a focal point.



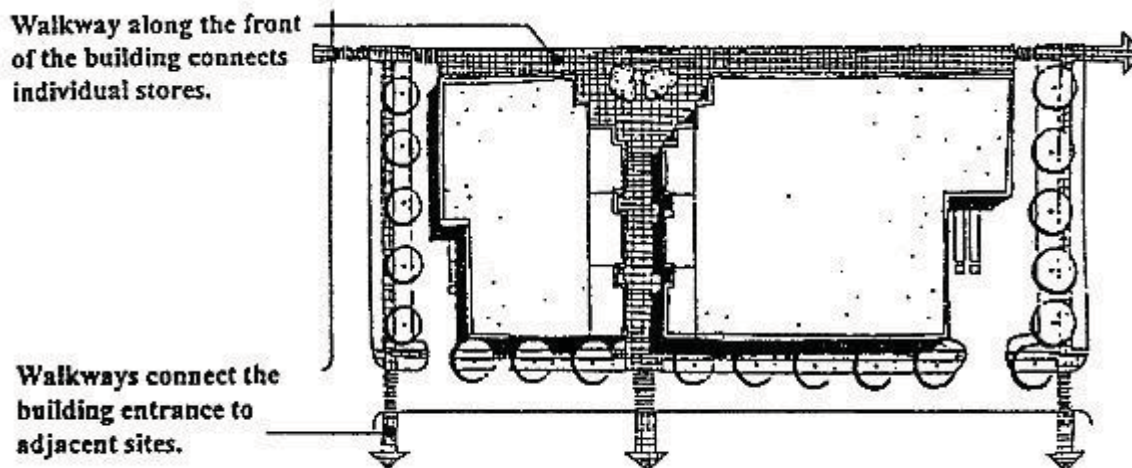


Figure 15.300.330 BUILDING WALKWAYS INTERCONNECTED

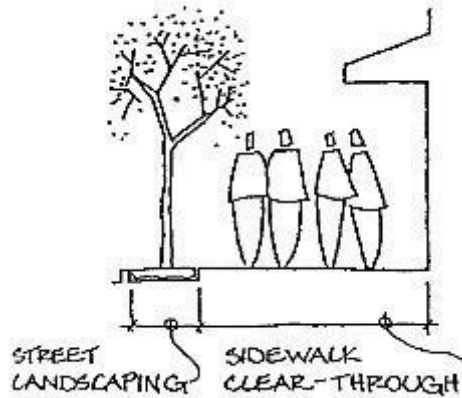
### 15.300.335 The Layout and Width of Streetfront Pedestrian Zone

Within the City Center Overlay District, all new sidewalks and street improvements shall include a streetfront pedestrian zone, consisting of street landscaping and a sidewalk clear-through zone.

- A. **Street Landscaping.** A minimum four (4) foot wide street landscaping zone shall be required adjacent to the street curb, consisting of a combination of trees, landscaping, light poles, and street furniture in a manner to be approved by the Director of Planning and Community Development.
1. The street landscaping zone will include either tree wells and grates for street trees; or shrubs, ground cover and/or lawn in addition to street trees.
  2. Street trees shall be deciduous shade trees capable of at least twenty-five (25) feet in height. Street trees shall be planted within the street landscaping zone along public and/or private streets and be spaced no more than thirty (30) feet apart as described in street landscaping standards in SMC Chapter Landscaping and Tree Retention, except where variations in tree spacing, as approved by the Director of Planning and Community Development, may be considered to enhance plaza areas, emphasize building focal points or avoid visually blocking retail storefront entrances.
- B. **Sidewalk Clear-Through Zone.** A pedestrian sidewalk clear-through zone shall be created along the public and/or private street frontage consisting of a minimum eight (8) foot wide paving area free of physical obstructions to pedestrian movement.
1. The combination of street landscaping and sidewalk clear-through zones shall form a minimum twelve (12) foot wide pedestrian zone between the street

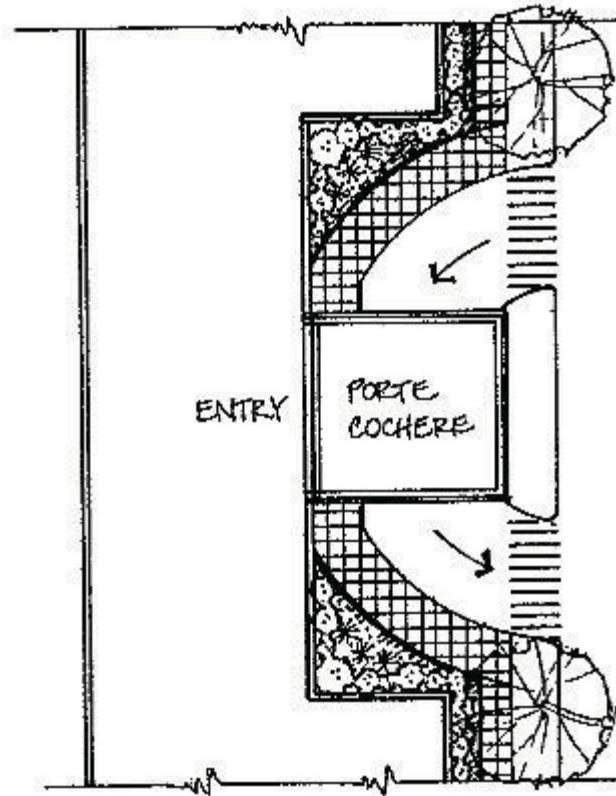
curb and any building edge or facade landscaping bed.

- C. Monument signs shall be located according to an approved site plan and in a manner that does not obstruct pedestrian movement.



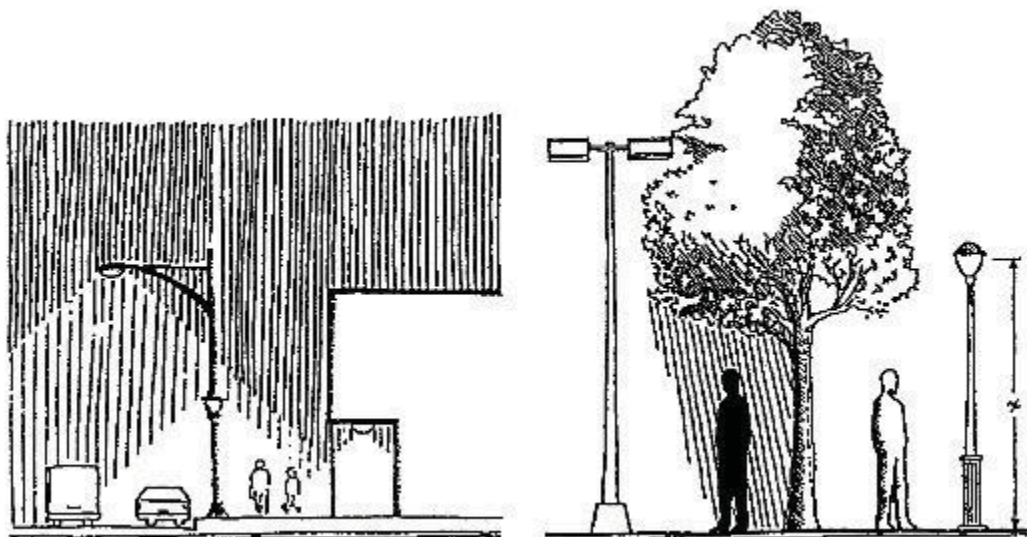
### 15.300.340 Driveway Entrances

- A. Driveways serving front yard porte cochere building entries shall be approved by the Director of Planning and Community Development and include only the short-term parking that can be accommodated along one (1) double-loaded drive aisle.
- B. Pedestrian entry routes interrupted by driveways shall be distinguished from the driveway surface by decorative paving to the building entrance.
- C. Driveway stacking lanes associated with drive-through facilities shall not be located between the building and any property line adjacent to a public and/or private street.



### 15.300.345 Exterior Lighting

- A. Lighting standards shall be no greater than sixteen (16) feet in height, and used to illuminate surfaces intended for pedestrians or vehicles, as well as building entries. Light fixtures shall be sited and directed to minimize glare around residences.
- B. Exterior lighting shall be used to identify and distinguish the pedestrian walkway network from car or transit circulation. Along pedestrian circulation corridors, lighting standards shall be placed between pedestrian ways and public and/or private streets, driveways or parking areas. The level of lighting shall conform with the requirements of Chapter [17.40](#) SMC, Walkway, Bikeway and Park Lighting.
- C. Light standard designs shall be approved by the Director of Planning and Community Development, and be in conformance with a consistent lighting standard design throughout the City Center Overlay District.



### **15.300.350 Projects on or Near the Edge of an RL or RM Residential Zone**

Careful siting and design treatment is necessary to achieve a compatible transition between two (2) zones of differing height, bulk and scale requirements. In order to mitigate potential impacts of CH and RH zone development on neighboring residential districts, the following standards shall apply:

- A. Properties abutting an RL zone shall incorporate the following:
  1. A maximum building height of thirty-five (35) feet, relative to the base elevation of the adjacent RL zoned parcel(s) where that base elevation is higher than the base elevation of the proposed project, shall apply to all portions of a structure within sixty (60) feet of an RL zone, including access roadway widths; provided, that the overall height of any structure shall not exceed the maximum structure height specified in the dimensional standards charts in SMC15.400.020-15.400.025; and
  2. A minimum side and/or rear yard building setback of twenty (20) feet shall apply if the side or rear property boundaries are adjacent to an RL zone. Side/rear yard landscaping shall occupy all or part of the required building setback, as specified in the landscaping chart in SMC15.445.111.
- B. Properties abutting an RM zone shall maintain a minimum side and/or rear yard building setback of twenty (20) feet, if the side or rear yard property boundaries are adjacent to an RM zone. Side/rear yard landscaping shall occupy all or part of the required building setback, as specified in the landscaping chart in SMC 15.445.111.

- C. Parking shall not be permitted within the side and/or rear yard building setback adjacent to an RL zone.



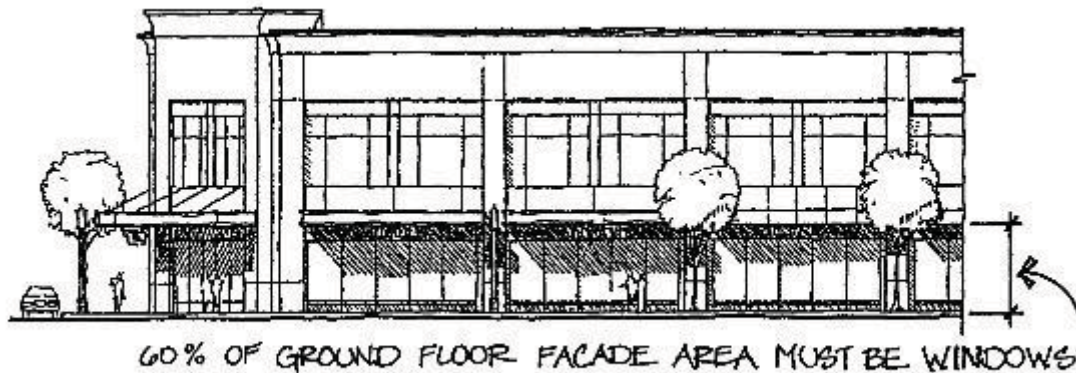
#### 14.300.400 Building Design

**Purpose:** Buildings should be designed to promote an architecturally appealing environment. Design emphasis should be given to the pedestrian through the provision of inviting building entries, street-level amenities and other structural and facade elements to encourage pedestrian interaction.

#### 15.300.410 Ground Floor Transparency Requirements

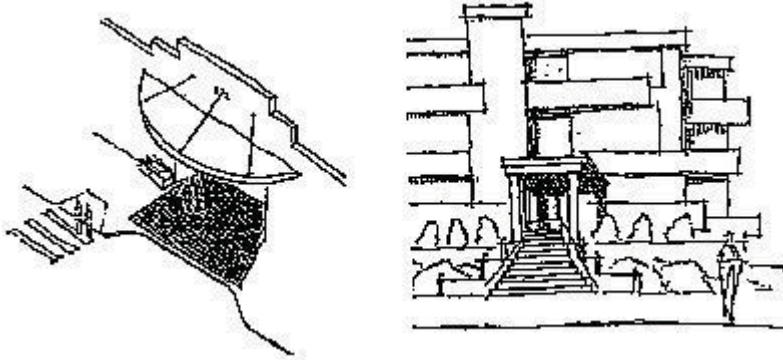
Windows shall be provided on the street level rather than blank walls to encourage a visual link between the business and passing pedestrians.

- A. Transparency requirements shall apply to buildings with a ground floor retail/commercial or service use, including portions of buildings where ground floor uses are convertible to a retail/commercial or service use. Transparency requirements shall not apply to portions of a building with ground floor housing.
1. Windows shall cover at least sixty percent (60%) of the public street facing ground floor building wall area. At the first floor building level, darkly tinted, mirrored or reflective glass shall not be used. Lightly tinted windows are allowed for nonretail ground floor uses.
  2. Transparency requirements shall apply to that area of the ground floor building wall fronting the street up to the finished ceiling height of the first floor building space.
  3. Windows shall begin twelve (12) to thirty (30) inches above the finished grade of the first floor building space.



### 15.300.420 Pedestrian Building Entries

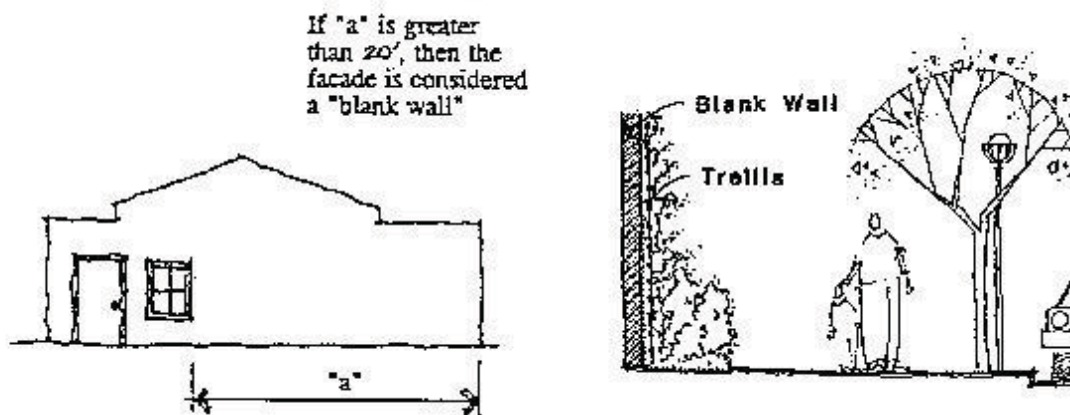
- A. Primary building entries shall be designed to be clearly visible or recognizable from an adjacent public or private street through the incorporation of two (2) or more of the following features:
1. Canopies, awnings, or other entry coverings that provide pedestrian shelter and interest;
  2. Distinctive architectural elements such as a variation in the building footprint, roof form, or amount of transparent glazing;
  3. Pedestrian-scaled ornamental lighting no greater than sixteen (16) feet in height;
  4. Landscaping designed as entry focal point.
- B. All ground level building entries shall be located no more than three (3) feet above or below the grade of the sidewalk. In the case of an allowable grade difference between a building entry and adjoining sidewalk, provide stairs and/or ramps to accommodate pedestrian access.



### 15.300.430 Treatment of Blank Walls

The definition of a “blank wall” is any wall or portion of a wall that is located within forty (40) feet of a street or pedestrian-only corridor and is without a ground level window, door or facade opening along any street-facing facade section of twenty (20) feet in length or more.

- A. Where blank wall sections are unavoidable due to the requirements of a particular land use or structural needs, they shall not exceed a length of fifty (50) feet, or twenty percent (20%) of the length of the street-facing facade, whichever is less.
- B. Blank wall sections of allowed lengths shall receive one (1) or more of the following special design treatments up to at least the finished ceiling height of the first floor building space in order to increase pedestrian comfort and interest:
  1. Install vertical trellis in front of the wall with climbing vines or other plant materials over at least thirty percent (30%) of the blank wall surface;
  2. Provide a decorative masonry pattern, or other architectural feature as approved by the Director of Planning and Community Development, over at least thirty percent (30%) of the blank wall surface; and/or
  3. Employ small setbacks, projections, indentations, or intervals of material change to break up the wall’s surface.

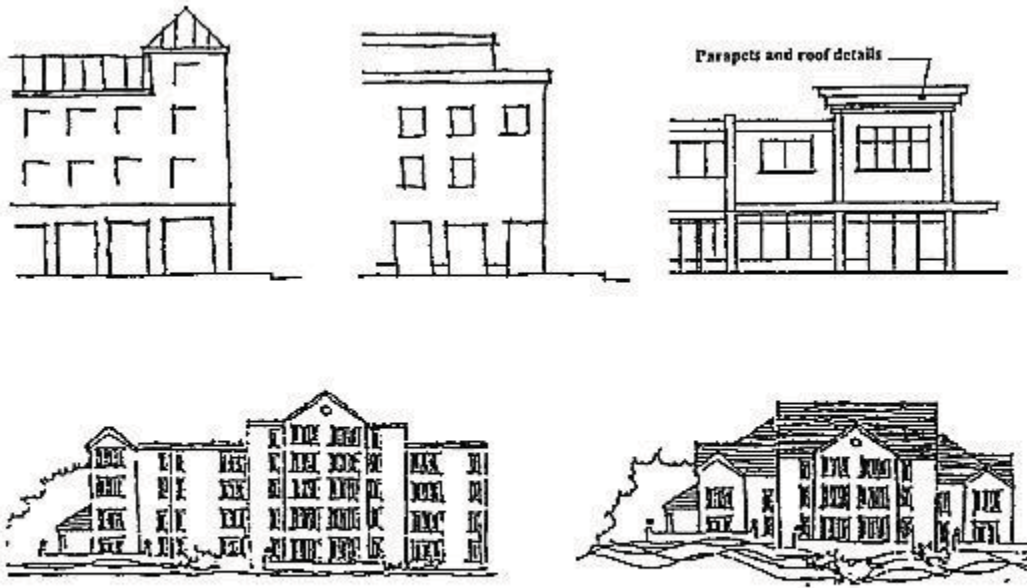


### 15.300.440 Roof Lines

In order to provide a visual terminus to the tops of City Center Overlay District buildings and soften rectilinear forms, roof designs must conform to one (1) of the following options:

- A. **Roof Line with Architectural Focal Point.** A roof line focal point refers to a prominent rooftop feature such as a peak, tower, gable, dome, barrel vault or roof line trellis structure.
- B. **Roof Line Variation.** The roof line articulated through a variation or step in roof height or detail, such as:
  1. **Projecting Cornice:** Roof line articulated through a variation or step in cornice height or detail. Cornices must be located at or near the top of the wall or parapet.
  2. **Articulated Parapet:** Roof line parapets shall incorporate angled, curved or stepped detail elements.
- C. **Pitched Roof or Full Mansard.** A roof with angled edges, with or without a defined ridge line and extended eaves.
- D. **Terraced Roof.** A roof line incorporating setbacks for balconies, roof gardens, or patios.

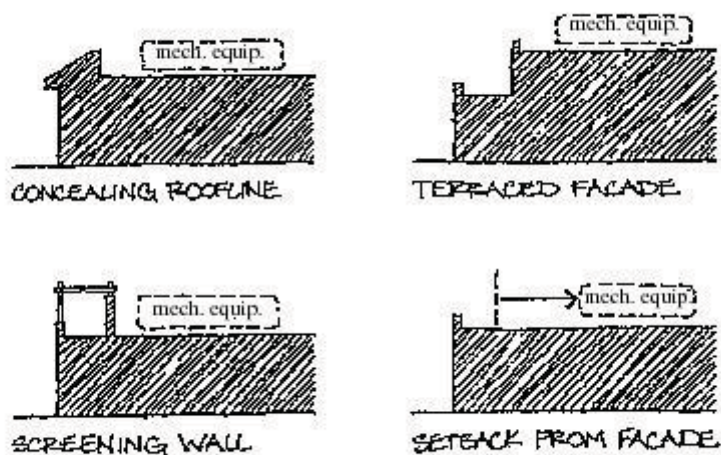




### 15.300.450 Rooftop Equipment

Building rooftops shall be designed to effectively screen mechanical equipment from street-level view through one (1) or more of the following methods:

- A. A concealing roof line;
- B. A terraced facade;
- C. A screening wall or grillwork directly surrounding the equipment;
- D. Sufficient setback from the facade edge to be concealed from ground level view.

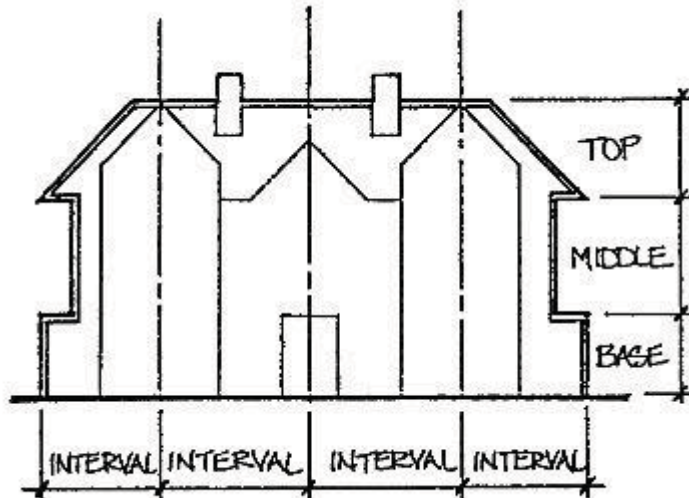


### 15.300.460 Character and Massing

Building facades one hundred (100) feet or greater in length shall incorporate vertical and/or horizontal variations in setback, material or fenestration design along the length of the applicable facade, in at least two (2) of the following ways listed below (see City Center Overlay District parking structure standards in SMC Chapter 15.465 Parking and Circulation for character and massing requirements specific to parking structures):

- A. **Vertical Facade Changes.** Incorporate intervals of architectural variation at least every eighty (80) feet over the length of the applicable facade, such as:
  1. Varying the arrangement, proportioning and/or design of windows and doors;
  2. Incorporating changes in architectural materials; and/or
  3. Projecting forward or recessing back portions or elements of the applicable facade.
    - a. Front facades incorporating a variation in building setback shall include within the setback such architectural elements as covered or recessed building entries, plazas or courtyards, storefront or bay windows, seating and/or planting areas.
- B. **Horizontal Facade Changes.** Designed to differentiate the ground floor from upper floors, such as:
  1. Stepping back the upper floors from the ground floor building facade;
  2. Changing materials between the building base and upper floors;

3. Including a continuous cornice line or pedestrian weather protection element between the ground floor and upper floors.



### 15.300.470 Pedestrian Weather Protection Along Building Facades

Building facades with ground floor retail/commercial or service uses shall be designed to provide for pedestrian weather protection through the use of awnings, canopies, colonnades, marquees, or building overhangs. Pedestrian weather protection structures shall extend along at least the length of the street-facing facade with the ground floor retail/commercial or service use.

- A. Pedestrian weather protection structures shall extend a minimum of four (4) feet out from the building facade. The maximum horizontal projection from the surface of the building shall be eight (8) feet or seventy-five percent (75%) of the distance to the curb face, whichever is less. Pedestrian weather protection structures shall be architecturally integrated with the ground level design of the building to which it is attached.
- B. The minimum height of pedestrian weather protection structures shall be eight (8) feet and six (6) inches above the sidewalk surface. Maintain a horizontal consistency by aligning the bottom edge of weather protection structures with those on adjacent buildings. Where the grade is sloping, maintain the average height above grade of adjacent weather protection structures.
- C. Building facade landscaping shall not be required under pedestrian weather protection structures along public or private street frontages. Any facade landscaping provided under pedestrian weather protection structures shall be of such width that a minimum four (4) feet of unobstructed walking area remains under the building awning, canopy, overhang, or other weather protection structure.

- D. Building facade landscaping in front of a ground floor retail use shall be designed and maintained to avoid obscuring visibility of street-facing windows or limiting access to building entrances, and shall consist of:
1. Evergreen shrubs spaced no more than four (4) feet apart that do not exceed a height of four (4) feet at maturity;
  2. Ground cover; and
  3. Seasonal displays of flowering annual bedding plants.

### **15.300.500 Off-Street Parking Requirements**

All properties in the City Center Overlay District shall conform to the off-street parking requirements in SMC 15.300.505 – 15.300.510.

### **15.300.505 Minimum Parking Spaces Required**

The minimum parking spaces required shall be those established in the parking chart in SMC Chapter 15.465 Parking and Circulation.

- A. In cases where the minimum parking standards established in the parking chart in SMC 15.465.105 are greater than the maximum spaces allowed in the parking chart in section SMC 15.300.510 below, then the parking standards within this chapter as specified in SMC 15.300.510 shall supersede and also serve as the minimum number of parking spaces required.

**15.300.510 Maximum Parking Spaces Permitted**

LAND USE	MAXIMUM SPACES PERMITTED*
<b>Residential Uses</b>	
Dwelling Unit, Attached /Duplex/ Townhouse	2 per dwelling unit
Multi-Family	1 per bedroom, up to 2 per dwelling unit***
Multi-Family, Senior	1 per unit***
Bed and Breakfast/Guesthouse	1 per bedroom, plus 2 for residents
Transitional Housing	1 per 2 bedrooms***
Community Residential Facility	1 per bed***
Convalescent Center/Nursing Home	1 per 3 beds***
Dormitory	1 per bedroom unit
<b>Recreational/Cultural Uses</b>	
Conference/Convention Center	5 per 1,000 SF of building area
Library/Museum	4 per 1,000 SF of building area
Community Center	4 per 1,000 SF of building area
Recreation Facility, Indoor	4 per 1,000 SF of building area
Theater/Night Club/Entertainment Club	0.75 per fixed seat, plus 1 per employee
<b>General, Educational and Health Services Uses</b>	
General Service Uses	4 per 1,000 SF of building area
Educational Uses	1 per employee, plus 1 per 2 students
Health Services Uses	4 per 1,000 SF of building area
<b>Government/Office, Business Uses</b>	
Professional Office	5** per 1,000 SF of building area
<b>Retail/Commercial Uses</b>	
Hotel/Motel/Lodging	1 per bedroom, plus the following for associated uses:  <u>Restaurant/ Lounge/ Bar:</u> 4 per 1,000 SF of building area  <u>Banquet/ Meeting Room:</u> 5 per 1,000 SF of gross building area
Retail, General	4 per 1,000 SF of leasable space
Manufacturing Uses	1 per employee, plus 2 per 1,000 SF of building area

LAND USE	MAXIMUM SPACES PERMITTED*
<b>Parking, Commercial/Public</b>	
Parking, Park-and-Fly	<p>Up to (300) parking spaces are permitted within a structure when associated with other non-parking land uses</p> <p>Park-and-fly structures are permitted up to three hundred (300) spaces as a stand-alone structure. Additional spaces may be added only via the incentive method defined in the parking bonus section in SMC 15.135.100</p>

*\*Where calculations result in fractions of parking spaces, the maximum number of parking stalls shall be determined by rounding up to the next whole number.*

*\*\*Maximum parking for business service/office uses may be increased to seven and one-half (7.5) per one thousand (1,000) square feet of building area through the establishment of a development agreement between the City and a developer.*

*\*\*\*Unless modified by a parking plan demonstrating an increased need to serve residents.*

**15.300.515 Parking Bonus Incentive Program for Park-and-Fly Parking in the City Center Overlay District**

For information on the Parking Bonus Incentive Program, which provides a parking allowance bonus beyond the maximum parking specified in 15.300.310, see SMC 15.135 Development Incentives Chart.

**15.300.600 Additional Standards**

- A. In addition to the requirements within this chapter, development standards from the following chapters may apply to projects within the City Center Overlay District:

Chapter 15.500 Commercial and Mixed Use Development Design Standards SMC
Chapter 15.135 Development Incentives SMC
Chapter 15.400 Dimensional Standards SMC
Chapter 15.430 Fences and Walls SMC
Chapter 15.445 Landscaping and Tree Retention SMC
Chapter 15.520 Multi-Family Housing Design Standards SMC
Chapter 15.460 Open Space and Amenities SMC
Chapter 15.465 Parking and Circulation SMC
Chapter 15.475 Security for Residential Developments SMC
Chapter 15.480 Service and Utility Areas SMC
Chapter 15.600 Signs SMC
Chapter 15.525 Townhouse and Duplex Development Design Standards

- B. In addition to the requirements within this chapter, and the chapters identified in SMC 15.300.600(A), development standards from elsewhere in this title may apply to projects within the City Center Overlay District.

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## **Chapter 15.310**

### **South 154<sup>th</sup> Street Station Area Overlay District**

#### **SECTIONS:**

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#### **15.310.010 Purpose**

#### **15.310.020 Authority and Application**

#### **15.310.030 Development Plan – Filing Requirements**

#### **15.310.100 S. 154<sup>th</sup> St. Station Area Overlay District Land Use Regulations**

15.310.110 Use Chart User Guide

15.310.115 S. 154<sup>th</sup> St. Station Area Overlay District Use Chart

15.310.120 Pedestrian-Oriented Use Requirements

#### **15.310.200 Circulation**

15.310.210 Vehicular and Pedestrian Circulation Requirements

15.310.215 Internal Access Roads

15.310.220 Pedestrian Requirements

#### **15.310.300 Site Planning and Building Orientation**

15.310.310 Building Placement/Setbacks

15.310.320 Development Abutting Two (2) or More Street Frontages

15.310.330 Relation to Adjacent Development

15.310.335 The Layout and Width of Street Front Pedestrian Zone

15.310.340 Driveway Entrances

15.310.345 Exterior Lighting

15.310.350 Projects on or Near the Edge of an RL or RM Residential Zone

15.310.355 Service Element Location and Design

#### **15.310.400 Building Design**

15.310.405 Minimum Building Height

15.310.410 Ground Floor Transparency Requirements

15.310.415 Minimum Depth and Ceiling Heights for Street Level Nonresidential Uses

15.310.420 Pedestrian Building Entries

15.310.430 Treatment of Blank Walls

15.310.440 Roof Lines

15.310.450 Rooftop Equipment

15.310.460 Character and Massing

15.310.470 Pedestrian Weather Protection Along Building Facades

15.310.480 Upper Level Setback

#### **15.310.500 Off-Street Parking Requirements**

15.310.505 Minimum Parking Spaces Required

15.510.510 Maximum Parking Spaces Permitted

15.310.515 Additions or Reductions in Parking Spaces

#### **15.310.600 Additional Standards**

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**15.310.010 Purpose**

- A. The following standards are intended to implement the City's vision for the South 154th Street Station Area Overlay District by promoting integrated development and pedestrian-oriented design, a diversity of uses within close proximity, open space, and a focal point for community identity.
1. Urban Design Vision.
    - a. The urban design vision for the South 154th Street Station Area Overlay District is intended to support an environment that is pedestrian-oriented, visually pleasing and easily accessible to the pedestrian, motorist and public transit user. New development should contribute economic and social opportunities through the establishment of a mix of uses that provide local shopping, services, offices, restaurants, residences, festivals, special events and entertainment experiences.
    - b. New development should include public amenities, such as storefronts with canopies, street trees, seating, fountains or water features, outdoor cafes, sculpture or other forms of art, and places for gathering. The use of materials, color, texture, form and massing, proportion, public amenities, mitigation of environmental impacts, landscaping and vegetation and architectural detail should be incorporated in the design of new development with the purpose of supporting a human-scale, pedestrian-oriented station area. New development shall be coordinated and consistent with the South 154th Street Station Area Action Plan.
- B. Each standard includes examples and illustrations of ways in which the intent of the standard could be achieved. The graphic illustrations are meant to be examples and not the only acceptable means to accomplishing the intent of the illustrated standards. Applicants and project designers are encouraged to consider designs, styles and techniques not pictured in the examples that fulfill the intent of the design standard.

**15.310.020 Authority and Applications**

- A. The provisions of this chapter shall apply to the South 154th Street Station Area Overlay District (see Figure 15.310.020). Within the South 154th Street Station Area Overlay District, this chapter shall supersede existing regulations elsewhere in SMC Title 15 when in conflict with this chapter.
- B. The provisions of this chapter shall apply to all development meeting one (1) or more of the following thresholds:

1. All new construction requiring building permits; and/or
2. Major Redevelopment. Additions or alterations to a building or site, excluding interior-only improvements, which total fifty percent (50%) or more of the gross square footage (GSF) of the existing building(s) or site.

Only the portions of the building or site being altered or added to shall be required to integrate South 154th Street Station Area Overlay District standards into the design of the alteration or addition. Project applicants proposing additions or alterations to a building or site conforming to the above criteria for major redevelopment shall arrange a pre-design meeting with Planning staff prior to meeting with the Development Review Committee in order to establish those design standards applicable to the proposed addition or alteration.

- C. In order to provide flexibility and creativity of project designs, departures from these special standards may be permitted, subject to the approval of the Director of Planning and Community Development:
1. If the strict interpretation or application of these standards would be inconsistent with related provisions of the Zoning Code or would be contrary to the overall purpose or intent of City goals and objectives for the South 154th Street Station Area Overlay District or Comprehensive Plan; or
  2. If it can be shown that the overall project design and feasibility can be improved.
- D. In order to provide flexibility, to permit creativity of design, style, and technique, and to provide for phased development and interim uses, development agreements may be entered into by and between the City and property owners or developers, pursuant to RCW 36.70B.170 through 36.70B.200, unless otherwise prohibited in this chapter; provided, that the terms of any such development agreement shall be consistent with the purpose and intent of this chapter. Special conditions or exemptions established for a particular site or project through a development agreement shall include criteria or date for the termination of any such agreement.
- E. Existing single-family homes are exempt from the provisions of this chapter.
- F. Development and application of these standards, where applicable, shall be consistent with the interlocal agreement (ILA) between the City of SeaTac and the Port of Seattle.
- G. Standards for high capacity transit facilities, as identified in Chapter 15.505 SMC, shall apply to all applicable development within the South 154th Street Station Area Overlay District.

- H. Development agreements are prohibited for park-and-fly parking and other long-term (overnight) commercial parking facilities which provide parking space for a fee.

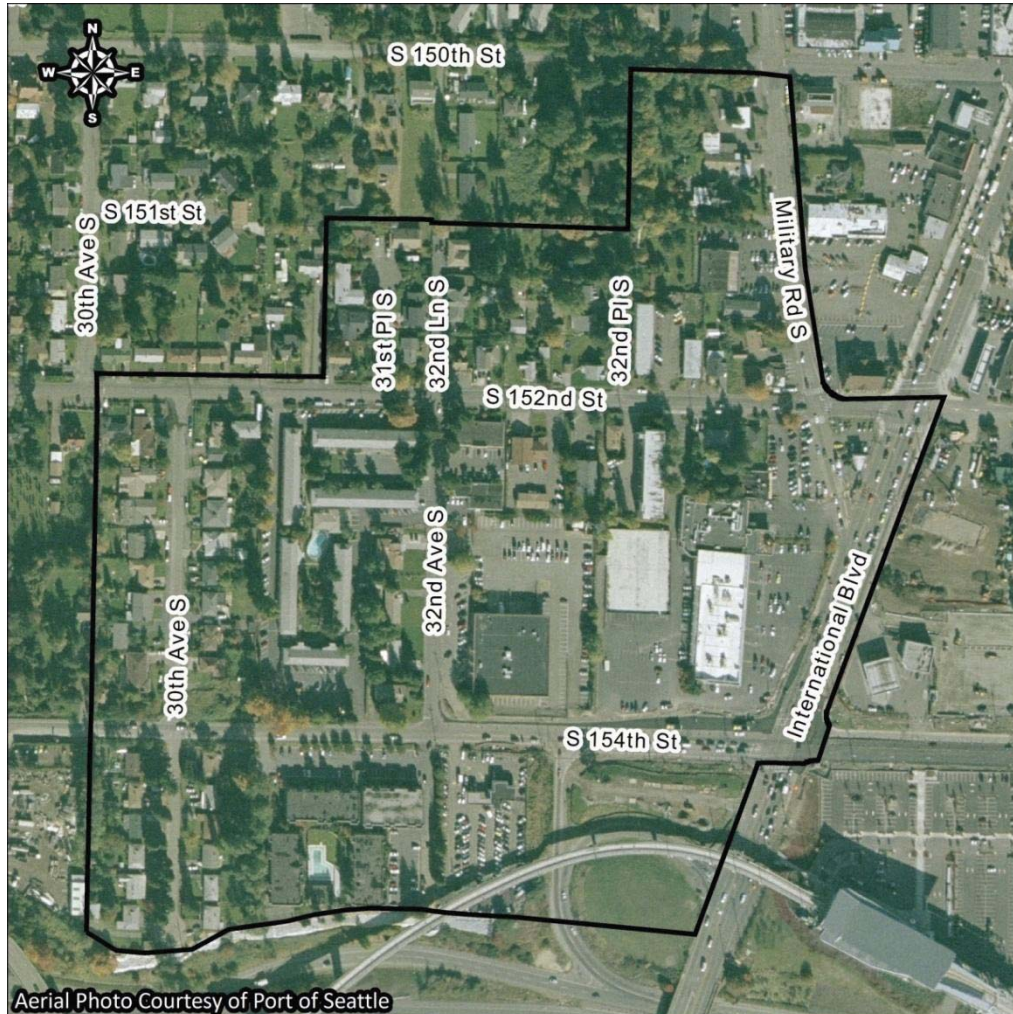


Figure 15.310.020: South 154<sup>th</sup> Street Station Area Overlay District

### 15.310.030 Development Plan – Filing Requirements

Development applications must be submitted in sufficient detail to allow review of the project in accordance with the special standards of this chapter, SEPA requirements, and other applicable provisions of this code.

In addition to existing application requirements, the following information, at a minimum, must be included as elements in every South 154th Street Station Area Overlay District development application:

A. **Site Plan.** A site plan, at a scale no smaller than one (1) inch to twenty (20) feet, must show the following:

1. The location, size and finished grade of all proposed and existing on-site structures, as well as the existing topography and the grade of all public or private streets adjacent to the site;
2. A circulation plan which depicts access to the site and the vehicular, pedestrian and bicycle traffic flow on site, as well as links with developments on adjoining parcels. Site access and circulation shall be approved by both the Director of Public Works and the Director of Planning and Community Development;
3. The location, arrangement, and total square footage of on-site usable open space areas, as specified in SMC 15.460.600 through 15.460.625;
4. The location, arrangement, and total square footage of on-site landscaping;
5. Links to open spaces and landscaped areas on adjacent parcels;
6. The lot lines and footprints of all structures on all parcels within two hundred (200) feet of the boundaries of the project parcel;
7. Provide details on how all mechanical and utility rooftop equipment will be screened;
8. Photographs of the facades of buildings adjacent and across the street;
9. Measurements of light levels on adjacent properties, and proposed light levels (in footcandles) and uniformity ratios on site; and
10. Open Space Plan. The applicant shall submit a plan with a minimum scale of one-quarter (1/4) inch equals one (1) foot for open space required as in SMC 15.460.600 through 15.460.625, which shall include a description of all landscaping; lighting; street furniture; color and materials; relationship to building frontage; specific location of the open space; and the relationship to and coordination with any pedestrian connection or other public amenity.

B. **Building Elevations.** For SEPA review, preliminary elevations will be accepted. A complete set of elevation drawings for proposed buildings on the project site showing trim details, dimensions and exterior materials including roofing, siding, windows and trim will be necessary for design review.

### **15.310.100 S. 154<sup>th</sup> St. Station Area Overlay District Land Use Regulations**

The use chart in SMC 15.310.115 presents uses that are allowed and prohibited within the South 154th Street Station Area Overlay District. The chart indicates the land uses permitted (P), permitted as a conditional use (C), or not permitted (blank cell) in each zone.

### 15.310.110 Use Chart User Guide

A. **About the Use Chart.** The following chart lists all of the permitted and conditional land uses allowed in each zone.

B. **How to Use the Use Chart.** The land uses are listed vertically along the left hand side and the zones are listed horizontally across the top. Each square in the chart shows the following possibilities for the use and the zone:

1. **P:** The use is permitted.
2. **C:** The use is allowed subject to a conditional use permit.
3. **Pa:** The use is permitted only as an accessory to the primary use of the site and shall not exceed twenty-five percent (25%) of the total building square footage.
4. **Ca:** The use is allowed subject to a conditional use permit and only as an accessory to the primary use of the site and shall not exceed twenty percent (20%) of the total building square footage.
5. **/rmu:** The use is allowed as part of a residential mixed-use development.
6. **/mu:** The use is allowed as part of a mixed-use development.
7. **n:** The user should refer to the regulations listed in the far right column for that use and zone.
8. If the square is blank, the use is not permitted in that zone.

C. **Additional regulations according to use.** The column on the far right lists additional regulations which apply to that particular use. If the regulation is not preceded by an “n”, the regulation applies to all zones.

#### D. Zone Abbreviations.

1. RM– Residential Medium
2. RH– Residential High
3. RH-MU– Residential Mixed-Use

4. RT– Residential Townhouse
5. CH– Commercial High

## 15.310.115 S. 154th St. Station Area Overlay District Use Chart

LAND USE	RM	RH	RH-MU	RT	CH	Additional Regulations
<b>ANIMALS</b>						
Kennel/ Cattery						
Stables						
Veterinary Clinic			Prmu		Pmu	n: Development and redevelopment projects south of S. 154th Street, are exempt from ground floor residential mixed use requirements including south side of S. 154th St.)
<b>BUSINESS SERVICES</b>						
Cargo Containers	Pa, n	Pa, n	Pa, n	Pa, n	P	Chapter 15.420: Cargo Containers n: Not permitted as accessory to dwelling units
Conference/ Convention Center					C	
Construction/ Landscaping Yard						
Distribution Center/Warehouse						
Equipment Rental, Large						
Equipment Rental, Small					C	
Equipment Repair, Large						
Equipment Repair, Small					Pa	
Heliport						
Helistop						
Professional Office		Prmu	Prmu		P	
Storage, Self-Service						
Truck Terminal						
<b>CIVIC &amp; INSTITUTIONAL</b>						
Cemetery						
City Hall	P	P			P	
Court					P	
Fire Facility	P	P	P		P	
Funeral Home/Crematory					P	
Police Facility	P	P	P		P	
Public Agency Office		P	Prmu		P	
Public Agency Yard						
Social Service Office		C	Prmu		P	
<b>EDUCATIONAL</b>						
College/University	C	C	Crmu		P	
Elementary-Middle School	C	C	C			
High School	C	C	C		C	
Specialized Instruction School	P	P	Prmu		Pmu	



## 15.310.115 S. 154th St. Station Area Overlay District Use Chart

LAND USE	RM	RH	RH-MU	RT	CH	Additional Regulations
Vocational School			C		P	
<b>HEALTH &amp; HUMAN SERVICES</b>						
Community Residential Facility I	P	P	Prmu		Pmu	Chapter 15.425: Community Residential Facilities Standards
Community Residential Facility II		P	Prmu		Pmu	
Convalescent Center/Nursing Home	P	P	P		P	
Crisis Diversion Facility (CDF)						
Crisis Diversion Interim Facility (CDIF)						
Day Care I	P	P	P	P	P	
Day Care II	P	P	Prmu		P	
Hospital					P	
Medical Office/ Outpatient Clinic		Prmu	Prmu		P	
Overnight Shelter	Pa-n	Pa-n			C-n-1, Pa-n	n: Accessory to religious use facility only and requires operating plan n-1: Division I, Land Use Actions and Permits (CUP-EPF siting process)
Opiate Substitution Treatment Facility					C	Chapter 15.115: Land Use Actions and Permits (CUP-EPF siting process)
Secure Community Transition Facility					C	Chapter 15.115: Land Use Actions and Permits (CUP-EPF siting process)
Transitional Housing		C	C		Pmu	Must have adequate on-site and program management, and satisfactory written policies and procedures, including those describing tenant selection, assistance, denial or termination, and housing safety standards. Screening must not allow as residents persons who have been classified as Class III sexual offenders.
Work-Release Facility						
<b>MANUFACTURING</b>						
Assembly and/or Packaging					C	
Hazardous Waste Treatment and Storage Facilities						
Laboratories, Light Manufacturing					C	
Laboratories, Research, Development & Testing					C	
Manufacturing and Fabrication, Light						
Manufacturing and Fabrication, Medium						
Micro-Winery/ Brewery-Distillery					P-n	n: Micro-wineries and breweries shall have a retail section
Recycling Collection and Processing Center						
<b>MOTOR VEHICLES</b>						
Auto Service Center						
Auto Supply Store					Pmu	
Auto Wrecking						
Commercial Marine Supply						

## 15.310.115 S. 154th St. Station Area Overlay District Use Chart

LAND USE	RM	RH	RH-MU	RT	CH	Additional Regulations
Electric Vehicle Infrastructure	P-n	P--n-1	P--n-1	P-n	P	n: Restricted electric vehicle charging only n-1: Battery charging stations only, limited in use only to tenants or customers of the development located on-site
Fueling/ Service Station						
Mobile Refueling Operation	P	P	P	P	P	Chapter 15.455: Mobile Refueling Operations
Parking, Commercial/ Public					Pmu	
Parking, Park-and-Fly						
Tire Retreading						
Towing Operation						
Vehicle Rental, Large						
Vehicle Rental, Small						
Vehicle Repair, Large						
Vehicle Repair, Small						
Vehicle Sales/ Dealer, Large						
Vehicle Sales/ Dealer, Small						
<b>RECREATIONAL &amp; CULTURAL</b>						
Amusement Park						
Community Center	C	P	Prmu-n		P	n: Development and redevelopment projects south of S. 154th Street, are exempt from ground floor residential mixed use requirements including south side of S. 154th St.)
Golf Course						
Library	P	C	P	C	P	
Meeting Facility	P	P	Prmu-n		P	n: Development and redevelopment projects south of S. 154th Street, are exempt from mixed use requirement including south side of S. 154th St.)
Museum	C	C	P		P	
Park	P	P	P	P	P	
Recreation Facility, Indoor	C	C	Prmu-n		Pmu	n: Development and redevelopment projects south of S. 154th Street, are exempt from mixed use requirement including south side of S. 154th St.)
Recreation Facility, Outdoor						
Religious Use Facility	C	P	P-n		P	n: Development and redevelopment projects south of S. 154th Street, are exempt from mixed use requirement including south side of S. 154th St.)
Stadium/ Arena/ Auditorium						
<b>RESIDENTIAL</b>						
Dormitory					P	
Duplex	P			P		Only permitted as part of a townhouse development.
Dwelling Unit, Caretaker/ Manager					Pmu	
Dwelling Unit, Detached						
Dwelling Unit, High Density Single-Family	P					Chapter 15.510: High Density Single-Family Design Standards
Manufactured Home (HUD)						Chapter 15.450: Mobile Homes, Manufactured Homes and Mobile Home Parks

## 15.310.115 S. 154th St. Station Area Overlay District Use Chart

LAND USE	RM	RH	RH-MU	RT	CH	Additional Regulations
Mobile Home (nonHUD), Manufactured						Chapter 15.450: Mobile Homes, Manufactured Homes and Mobile Home Parks
Mobile Home Park						Chapter 15.450: Mobile Homes, Manufactured Homes and Mobile Home Parks
Multi-Family	P	P	Prmu-n		P-n-1	n: Residential-only projects allowed south of S. 154th St. in RH-MU zone (including south side of S. 154th St.) n-1: Mixed-use required when adjacent to Principal and Minor Arterials
Multi-Family, Senior	P	P	Prmu-n		P-n-1	n: Residential-only projects allowed south of S. 154th St. in RH-MU zone (including south side of S. 154th St.) n-1: Mixed-use required when adjacent to Principal and Minor Arterials
Townhouse	P			P		
<b>RESIDENTIAL, ACCESSORY</b>						
Accessory Dwelling Unit	P					Chapter 15.405: Accessory Dwelling Unit
Canopy						Chapter 15.410: Accessory Structures
Home Occupation	P	P	P	P	P	Chapter 15.440: Home Occupations
Shed/Garage	P-n	P-n	P-n	P		Chapter 15.410: Accessory Structures n-Limited to one thousand (1,000) gsf and a twenty (20) foot height limit (highest point)
Tent						Chapter 15.410: Accessory Structures
<b>RETAIL &amp; COMMERCIAL</b>						
Agricultural Crop Sales (Farm Only)					P	
Arcade (Games/ Food)		Pa	Pa-n		Pmu	n: Development and redevelopment projects south of S. 154th Street, including south side of S. 154th St., are exempt from the minimum percentage ground floor use requirement found in Chapter 15.500: Commercial and Mixed Use Development Design Standards
Bed and Breakfast/ Guesthouse	Pn	Pn	Pn	Pn		The maximum number of guest rooms is four (4) and the maximum number of guests is eight (8). n: Permitted only in existing dwelling units, detached
Drinking Establishment			Prmu		Pmu	
Dry Cleaner		Parmu	Prmu		Pmu	
Espresso Stand		P	P		P	
Farmers/Outdoor Markets					P	
Financial Institution			Prmu-n		Pmu-n	n: No drive-through facilities
Food Establishment, Fast Food		Ca-n	Prmu-n		Pmu-n	n: No drive-through facilities
Food Establishment, Sit Down		Ca-n	Prmu-n		Pmu-n	n: No drive-through facilities
Hotel/ Motel/ Lodging		C-n	Prmu-n		P	n: Conditional use with greater than or equal to fifty percent (50%) residential use
Laundromat	P-n	Prmu-n	Prmu-n-1		Pmu	n: Small resident-oriented use only, as part of residential mixed use project n-1: Development and redevelopment projects south of S. 154th Street, are exempt from mixed use requirement including south side of S. 154th St.
Liquor Store					Pmu	
Lumberyard						

## 15.310.115 S. 154th St. Station Area Overlay District Use Chart

LAND USE	RM	RH	RH-MU	RT	CH	Additional Regulations
Mini-Casino					P-n	n: Permitted only as accessory to business primarily engaged in the selling of food or drink for consumption on the premises - see mini-casino definition in Division I for additional requirements
Movie Theater			Prmu-n		P	n: Development and redevelopment projects south of S. 154th Street, are exempt from mixed use requirement including south side of S. 154th St.
Personal Grooming and Health Services		P-n	Prmu		P	n: Small resident-oriented use only, not to exceed 5,000 square feet in total gross feet
Retail, Big-Box						
Retail, General		Prmu-n	Prmu		Pmu	n: Small resident-oriented use only, not to exceed 5,000 square feet in total gross feet
Sexually-Oriented Business					C	15.485: Sexually-Oriented Business
Theater/Night Club/Entertainment Club			Crmu-n		Pmu	n: Development and redevelopment projects south of S. 154th Street, are exempt from mixed use requirement including south side of S. 154th St.
<b>UTILITIES</b>						
Utilities, Large	C	C	C	C	C	
Utilities, Medium	C	C	C	C	C	
Utilities, Small	P	P	P	P	P	
Wireless Communications Facilities & Communications Facilities	Chapter 15.495: Wireless Communication Facilities, Review and Approval Process, Tables B & C					

### 15.310.120 Pedestrian-Oriented Use Requirements

New development and redevelopment projects that are located on streets intended for high levels of pedestrian activity shall provide street level pedestrian-oriented retail, restaurant, public or personal service uses. See Figure 15.310.120 for specific locations of streets with pedestrian-oriented use requirements.

- A. **Pedestrian-Oriented Uses.** These uses are limited to the following: retail, restaurant/food establishment, personal services or public facilities. See Chapter 15.105 Definitions for definitions of pedestrian-oriented uses.
- B. **Primary Pedestrian-Oriented Street.** On primary pedestrian-oriented streets, a minimum of seventy-five percent (75%) of the length of the exterior ground floor facing the street, excluding vehicle entrances, exits, and alleys, shall be pedestrian-oriented retail, restaurant, personal service or public uses. Figure 15.310.120 provides specific locations of primary pedestrian-oriented streets.
1. Existing Primary Pedestrian-Oriented Streets.
    - a. International Boulevard: west side of International Boulevard between South 154th Street and South 152nd Street.
    - b. South 154th Street: north side of South 154th Street west of International Boulevard.
    - c. Military Road: west side of Military Road from International Boulevard to South 152nd Street.
    - d. South 152nd Street: south side of South 152nd Street west of International Boulevard and Military Road.
  2. New Primary Pedestrian-Oriented Streets.
    - a. New north-south street: the southern portion of the new north-south street north of South 154th Street. (Pedestrian-oriented uses shall be provided on both sides of the street.)
    - b. New east-west street: the eastern portion of the new east-west street west of International Boulevard. (Pedestrian-oriented uses shall be provided on both sides of the street.)
- C. **Secondary Pedestrian-Oriented Street.** On secondary pedestrian-oriented streets, a minimum of sixty percent (60%) of the length of the exterior ground floor facing the street, excluding vehicle entrances, exits, and alleys, shall be pedestrian-oriented

retail, restaurant, personal service or public uses. Figure 15.310.120 provides specific locations of secondary pedestrian-oriented streets.

1. Existing Secondary Pedestrian-Oriented Streets.

- a. South 154th Street: north side of South 154th Street east of 32nd Avenue South.
- b. 32nd Avenue South: east side of 32nd Avenue South north of South 154th Street.

D. **Other Streets.** For projects that are not located on primary or secondary pedestrian-oriented streets, and that do not have a mixed use requirement, a minimum of sixty percent (60%) pedestrian-oriented retail, restaurant, personal service or public use is encouraged but not required for the ground floor facing the street.

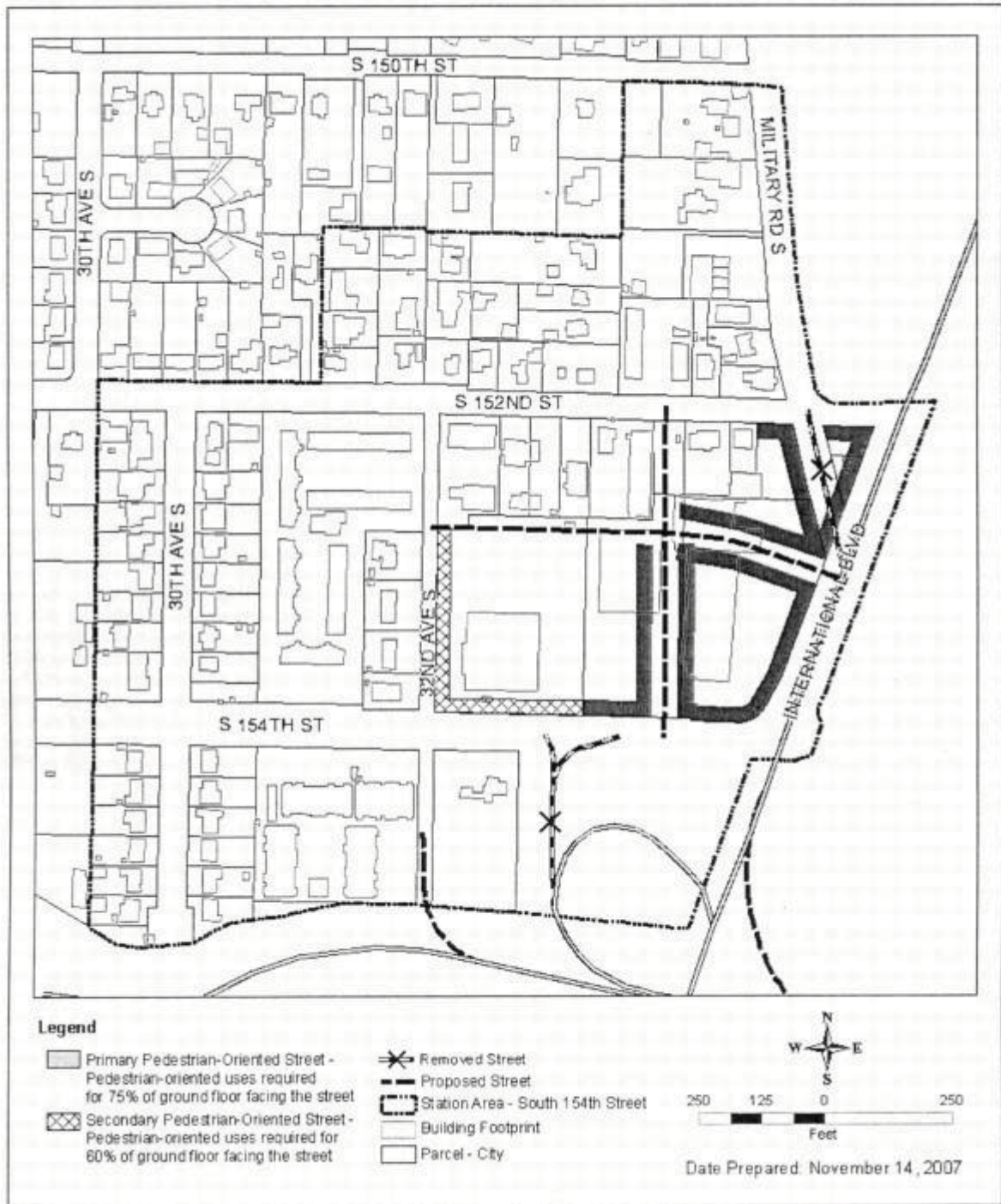


Figure 15.310.120 PRIMARY AND SECONDARY PEDESTRIAN-ORIENTED STREETS

### 15.310.200 Circulation

**Purpose:** Create a station area overlay district with an emphasis on the needs of the pedestrian which is also accessible and convenient for vehicles. Sufficient vehicular and

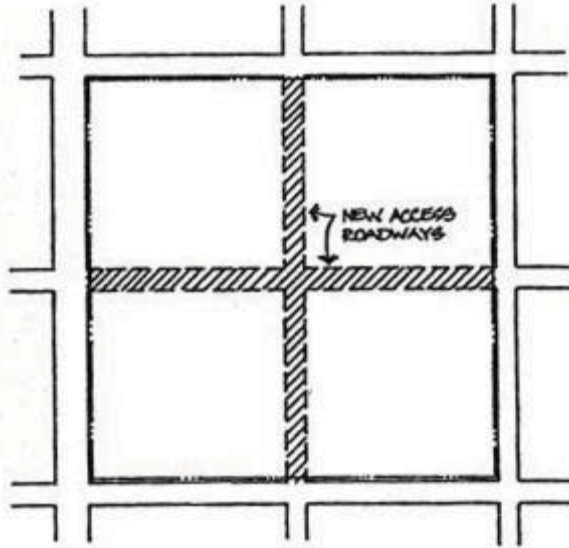
pedestrian circulation should be provided through the establishment of an adequate network of streets and sidewalks. Placement of structures, landscaping, circulation patterns and access points should collectively seek to promote an integrated, multi-modal transportation system. Creatively designed, clean and functional pedestrian connections are encouraged to provide access throughout the station area overlay district, between properties and to and from the public right-of-way. Pedestrian corridors should be inviting in their overall design, such as through the provision of street furniture and landscaping, and should feel secure by providing adequate safety measures, such as lighting. Circulation infrastructure within the station area shall be designed and constructed to achieve the urban design vision set forth in SMC 15.310.010.

### **15.310.210 Vehicular and Pedestrian Circulation Requirements**

Vehicular and pedestrian circulation within the South 154th Street Station Area Overlay District is intended to provide for public access, safe traffic flow, and connections to established vehicular and pedestrian routes. Vehicular circulation shall be as approved by both the Director of Planning and Community Development and the Director of Public Works.

- A. All new or reconstructed South 154th Street Station Area Overlay District streets, whether public or private, shall be constructed according to the City's adopted street standards. Street specifications and requirements can be found in SMC Title 11, Streets, Sidewalks, and Public Thoroughfares, which is administered by the City's Public Works Department.
  1. Street sections available in SMC Title 11 include:
    - a. South 154th Street west of 32nd Avenue South.
    - b. Military Road South.
    - c. South 152nd Street east of 32nd Avenue South.
    - d. 32nd Avenue South.
    - e. 30th Avenue South.
    - f. Other new public or private streets within the South 154th Street Station Area Overlay District.
  2. Street sections may differ at intersections to provide channelization for left and/or right turns. Modifications may also be needed to accommodate the existing terrain.
  3. For dimensions of sidewalks on public and private streets, see SMC 15.310.335, The Layout and Width of Street Front Pedestrian Zone.





- B. An owner or developer shall coordinate with owners of adjacent parcels and consolidate, wherever possible, vehicular circulation routes to interconnect public and/or private streets in conformance with the adopted South 154th Street Station Area Plan. Where appropriate, circulation corridors shall extend to the boundary line of the site parcel in order to provide for future development of adjacent parcels and connections with existing public and/or private streets.
- C. Dead-end streets shall be permitted only where there is no feasible connection with an adjacent public and/or private street and during the phasing of the construction of new roads.
- D. Half-streets or other partial streets shall not be allowed, except as an interim circulation route as approved by both the Director of Planning and Community Development and the Director of Public Works, in which the other portion of the public or private street shall be developed on an adjacent parcel.

### 15.310.215 Internal Access Roads

Internal access roads are established to provide vehicular and pedestrian access to the interior of the station area overlay district, to create connections between existing streets and to provide opportunities for new street frontages for retail and other business.

- A. Development shall provide internal access roads per the following (see Figure 15.310.215 for the general alignment of the internal access roads):
  - 1. A north-south street from South 154th Street on the south connecting to South 152nd Street on the north. This can be either a public or private street that can be implemented in phases as redevelopment occurs on applicable sites.

2. An east-west street from 32nd Avenue South on the west to International Boulevard on the east. This is intended to be either a public or private street that can be implemented in phases as redevelopment occurs on applicable sites.

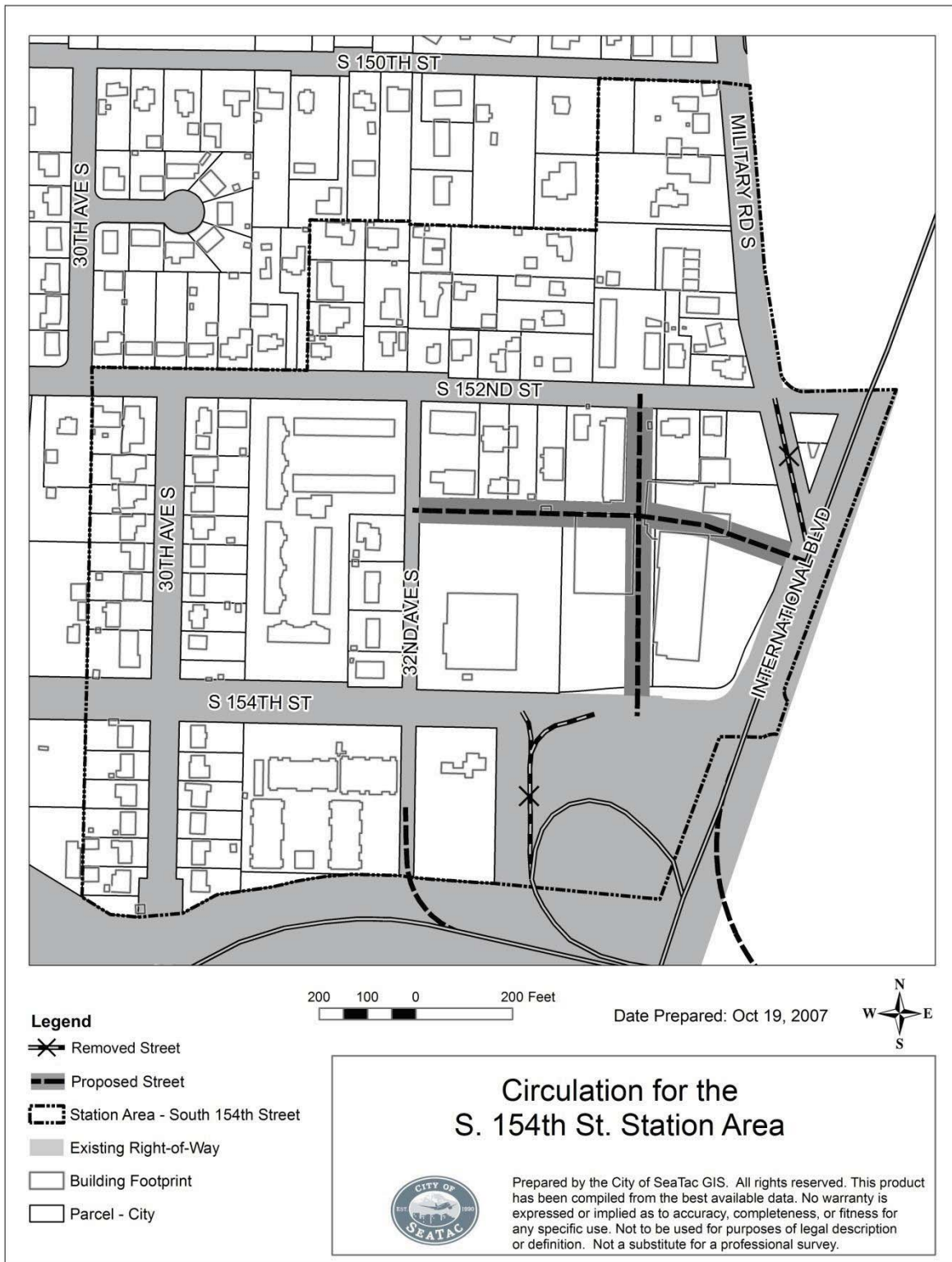
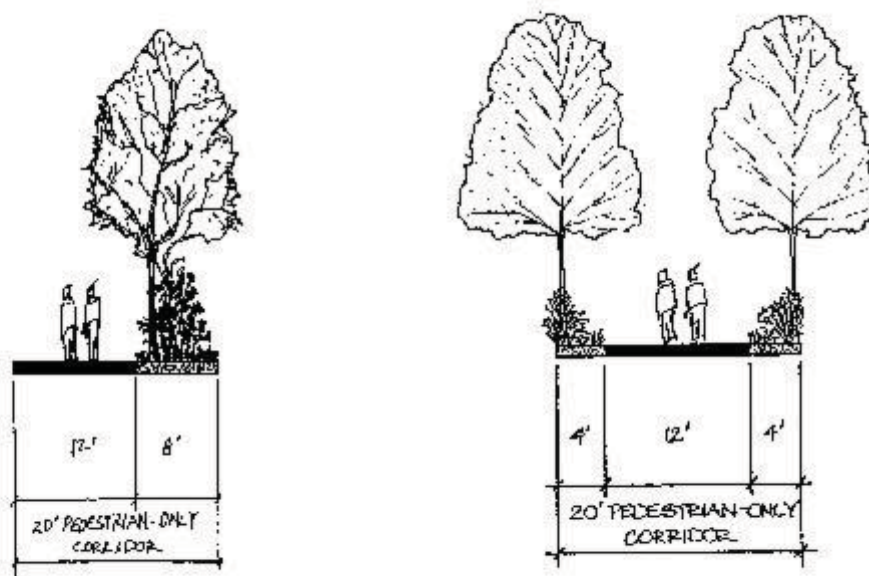


Figure 15.310.215 CIRCULATION IN THE SOUTH 154TH STREET STATION AREA OVERLAY DISTRICT

### 15.310.220 Pedestrian Requirements

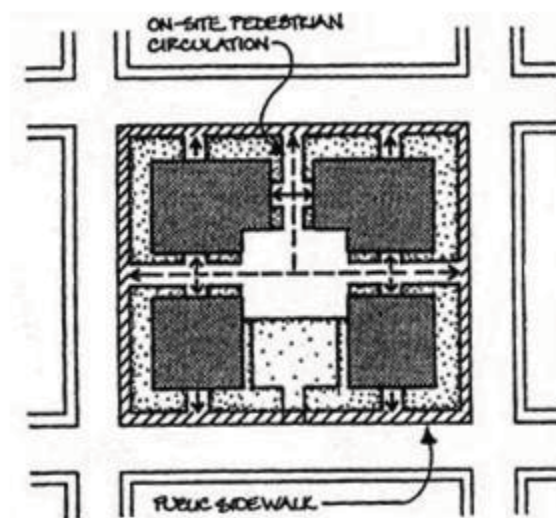
Pedestrian requirements are intended to create a network of linkages for pedestrians to improve safety and convenience and enhance the pedestrian environment.

- A. All site plans proposing multiple buildings designed for residential occupancy or business access shall connect building entrances to one another and to pedestrian ways on adjacent public and/or private streets via a minimum eight (8) foot wide walkway system separated from vehicular traffic. Public sidewalks may be considered part of the walkway system if they provide convenient movement between structures. Fences, landscaping and other site improvements shall be located so as not to impede safe and convenient pedestrian circulation.
- B. On-site pedestrian ways shall be designed to connect to off-site pedestrian way systems on adjoining properties and public and/or private streets. On-site extensions of pedestrian circulation systems shall align with existing pedestrian off-site links.
- C. Pedestrian-only corridors separate from the vehicular street system shall be a minimum of twenty (20) feet wide with a minimum twelve (12) foot pathway of an approved surfacing material.



- D. Public easements for pedestrian circulation shall be open to the public twenty-four (24) hours a day. Private easements for pedestrian circulation should remain open to the maximum extent possible.

- E. Primary pedestrian circulation and access shall be at grade. Elevated pedestrian walkways, if approved by the Director of Planning and Community Development, may be permitted for the following purposes:
1. To provide an extension to or direct connection with an elevated walkway/moving sidewalk;
  2. To overcome obstacles of terrain;
  3. To connect immediately adjacent components of a single development; or
  4. To connect with elevated transit stations.
- F. To promote public transit use, paved sidewalks or walkways shall be provided between building entrances and the nearest transit stop located within or adjacent to the subject property. Wherever possible, buildings shall be sited adjacent to or connected with transit stop facilities. Lighting shall be provided along pedestrian walkway connections and adjacent to transit stop facilities.



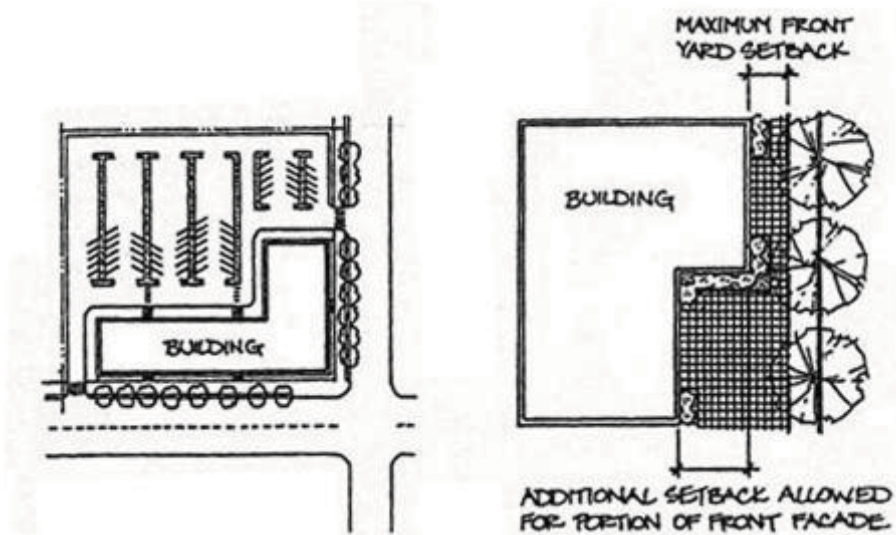
### 15.310.300 Site Planning and Building Orientation

**Purpose:** Design structures to have both an external orientation, to the streetscape, and an internal orientation, to the pedestrian environment, with unifying open space and pedestrian pathways. Design emphasis should be given to the pedestrian rather than the auto environment, through placement of parking in a less prominent location (such as underground, or to the rear of the building, rather than in front), the requirement of pedestrian-level retail space, treatment of blank walls and facades and incorporation of prominent architectural features. Site layout should emphasize coordination of open spaces and pedestrian access with adjacent development or public places and compatibility with adjacent development with regard to scale, proximity and landscaping. Lighting and

landscaping should allow for safety and visibility of public and semi-public areas. Structures shall be sited and designed to achieve the urban design vision set forth in SMC 15.310.010.

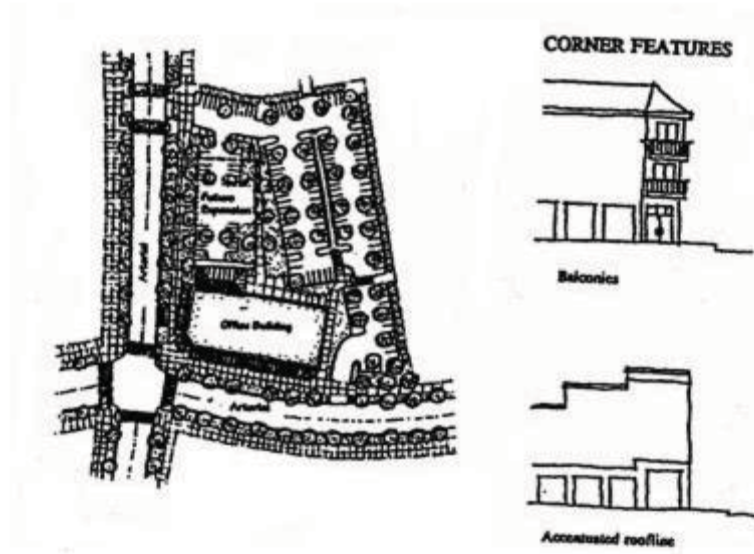
### **15.310.310 Building Placement/Setbacks**

- A. For properties within the South 154th Street Station Area Overlay District (see Figure 15.310.020), the maximum front yard setbacks shall be as follows:
1. A maximum of twenty (20) feet adjacent to International Boulevard, for at least sixty percent (60%) of the building's front facade.
  2. A maximum of ten (10) feet adjacent to all other public and/or private streets, for at least sixty percent (60%) of the building's front facade.
  3. At least sixty percent (60%) of the building's front facade shall be located within the maximum front yard setback, as specified in subsections (A)(1) and (2) of this section. The remaining portions of the front facade may be stepped back a maximum of twenty (20) feet more than the established maximum setback if a pedestrian activity is planned for that space, such as an entry, pedestrian plaza, outdoor dining, or a garden space associated with residences. The applicant may propose a greater setback to provide greater pedestrian interest and activity subject to approval by the Director of Planning and Community Development.
  4. Conflicts with the building placement/setbacks standards that arise because of the location of existing or required utilities may be allowed as approved by the Director of Planning and Community Development.
- B. The front facade of the primary building(s) on-site shall be oriented toward the front property line, with the main pedestrian entrance(s) located on this front facade and shall have a minimum length equal to sixty percent (60%) of the front property line. Additional building entrances may be oriented toward the rear or side of the building for access to and from parking lots.
- C. Building placement and setback shall be arranged to accommodate the street front usable open space requirement as specified in SMC 15.460.615, Required Street Front Usable Open Space.
- D. For projects in the CH zone, where the side and rear setbacks in the dimensional standards chart in SMC conflict with the required landscaping in Chapter 15.445 Landscaping and Tree Retention SMC and SMC, the side and rear yard setbacks in SMC 15.400.025 shall supersede.



### 15.310.320 Development Abutting Two (2) or More Street Frontages

- A. If a building lot abuts two (2) or more public or private streets, the maximum front yard setback shall apply to the two (2) public and/or private streets with the highest roadway classifications as defined by the SeaTac Comprehensive Plan. If three (3) or more public and/or private streets have the same roadway classification, then the property owner shall select the two (2) public and/or private streets to which the maximum front yard setback shall be applied.
- B. Buildings on corner lots shall orient front facades to both the corner and adjacent public and/or private street fronts. The primary building entry shall be located on a front facade (i.e., facing a publicly accessible street). Pedestrian entries near or on the corner are encouraged.
  1. Corner Buildings and Architectural Focal Points. Development at the intersection of either South 154th Street or South 152nd Street and International Boulevard shall include architectural focal points that increase the visibility and landmark status of corner buildings, such as one (1) or more of the following:
    - a. Transparent glazing incorporated into corner building design;
    - b. Tower elements and/or roof lines that accentuate the corner;
    - c. Balconies or building terraces at or near the corner.

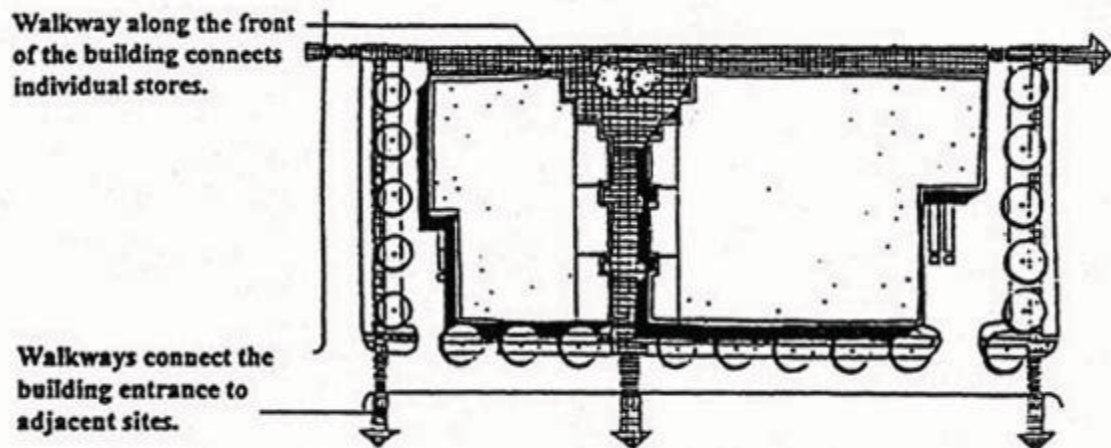


### 15.310.330 Relation to Adjacent Development

Proposed developments shall connect with adjoining parcels to take advantage of opportunities to mutually improve development design.

- A. Adjacent developments shall link open spaces and landscaping whenever possible.
- B. Proposed developments shall provide publicly accessible pedestrian connections to adjacent residential neighborhoods wherever possible, via a through-block walkway or links to sidewalks. Provide stairs or ramps where necessary when topographic barriers, such as steep slopes, inhibit direct access to surrounding development or destination points, such as transit stops.
- C. Where developments with multi-family residential components are located adjacent to retail, commercial, employment, or institutional uses, side and/or rear yard landscape buffers shall be intersected by approved pedestrian circulation routes in order to facilitate convenient walking connections to adjacent uses or services.
- D. Buildings or structures that terminate view corridors shall include architectural features that increase the visibility and landmark status of the subject building facade, such as a clearly defined building modulation, pedestrian entry feature, and/or roof line that accentuates the building as a focal point.



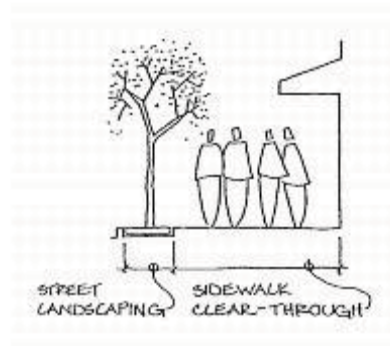


### 15.310.335 The Layout and Width of Street Front Pedestrian Zone

Within the South 154th Street Station Area Overlay District, all new sidewalks and street improvements shall include a street front pedestrian zone consisting of a sidewalk clear-through zone and a street landscaping zone. New development in the South 154th Street Station Area Overlay District shall provide sidewalks at the widths required within this section to contribute to the pedestrian orientation of new development.

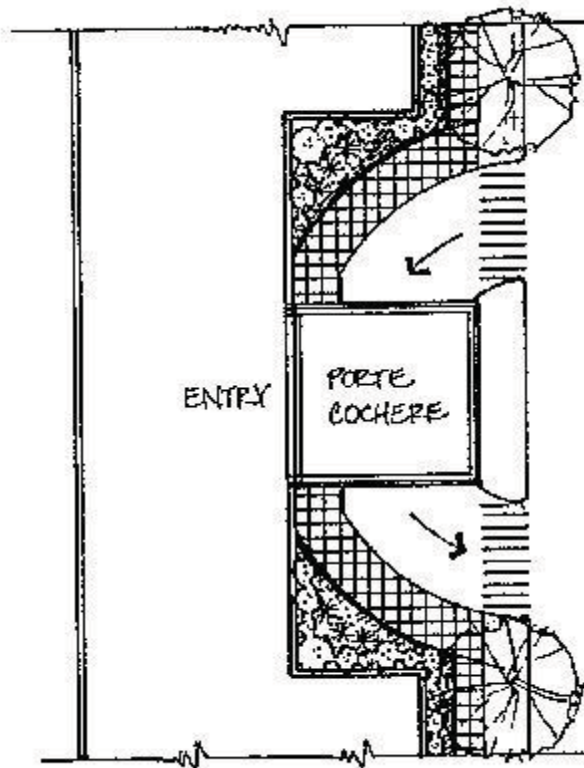
- A. **Sidewalk Clear-Through Zone.** A pedestrian sidewalk clear-through zone shall be created along the public and/or private street frontage consisting of a minimum eight (8) foot wide paving area on streets using the twelve (12) foot sidewalk, and consisting of a minimum four (4) foot wide paving area on other streets in the station area overlay district. The pedestrian sidewalk clear-through zone shall be free of physical obstructions to pedestrian movement.
- B. **Street Landscaping Zone.** A minimum four (4) foot wide street landscaping zone adjacent to the street curb shall be required on streets where both the twelve (12) foot and eight (8) foot sidewalks are used. The street landscaping zone shall consist of a combination of trees, landscaping, light poles, and street furniture in a manner to be approved by the Director of Planning and Community Development.
  1. The street landscaping zone will include City-approved tree wells and grates for street trees in addition to street trees.
  2. Street trees shall be deciduous shade trees capable of at least twenty-five (25) feet in height. Street trees shall be planted within the street landscaping zone along public and/or private streets and be spaced no more than thirty (30) feet apart as described in street landscaping standards in SMC Chapter Landscaping and Tree Retention, except where variations in tree spacing, as approved by the Director of Planning and Community Development, may be

considered to enhance plaza areas, emphasize building focal points or avoid visually blocking retail storefront entrances.



### 15.310.340 Driveway Entrances

- A. The location of curb cuts and driveway entrances shall be regulated by SMC Title [11](#), Streets, Sidewalks, and Public Thoroughfares, which is administered by the City's Public Works Department.
- B. Pedestrian entry routes interrupted by driveways shall be distinguished from the driveway surface by decorative paving to the building entrance.
- C. Driveways serving front yard porte cochere building entries shall be approved by the Director of Planning and Community Development and include only the short-term parking that can be accommodated along one (1) double-loaded drive aisle.



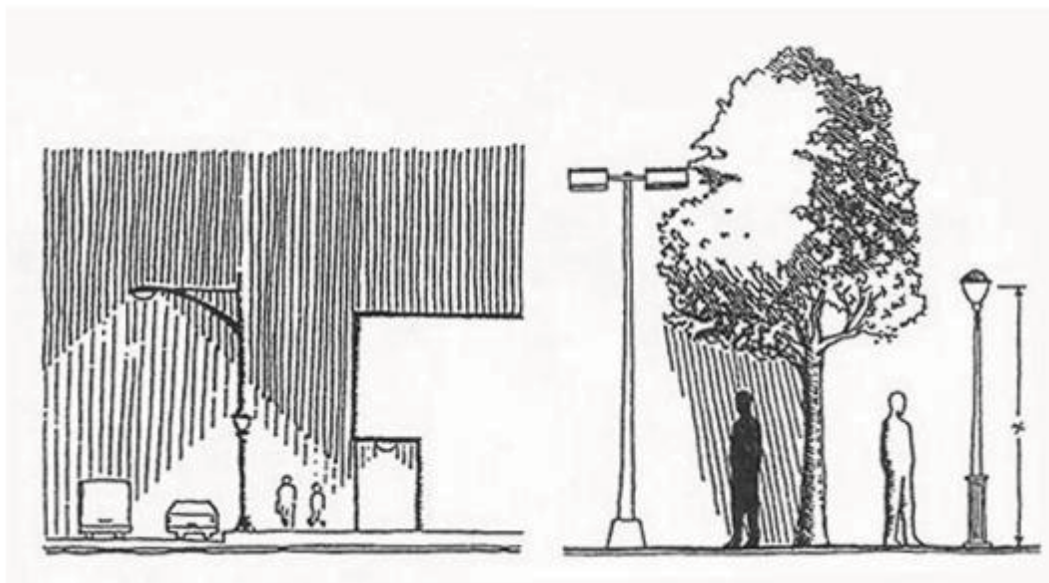
### 15.310.345 Exterior Lighting

Exterior lighting shall be used to identify and distinguish the pedestrian walkway network from car or transit circulation.

- A. Lighting standards shall be placed between pedestrian ways and public and/or private streets, driveways or parking areas.
- B. Light fixtures illuminating the pedestrian walkway network shall be between twelve (12) feet and fifteen (15) feet in height. The level of lighting shall conform with the requirements of Chapter 17.40 SMC, Walkway, Bikeway and Park Lighting.
  1. Light fixtures shall be sited and directed to minimize glare off of the project site.
- C. Building Entrances. All building entrances should be well lit to provide inviting access and safety. Lighting standards for building entries shall range between twelve (12) feet and fifteen (15) feet in height.
- D. Parking Areas. Lighting standards for parking areas shall be no greater than sixteen (16) feet in height, and used to illuminate surfaces intended for pedestrians or

vehicles within the parking area. Light fixtures shall be sited and directed to minimize glare off site.

- E. Light standard designs shall be approved by the Director of Planning and Community Development, and be in conformance with a consistent lighting standard design, if one exists, throughout the South 154th Street Station Area Overlay District.



### 15.310.350 Projects on or Near the Edge of a RL or RM Residential Zone

Careful siting and design treatment is necessary to achieve a compatible transition between two (2) zones of differing height, bulk and scale requirements. In order to mitigate potential impacts of CH and RH zone development on neighboring residential districts, the following standards shall apply:

- A. Properties abutting an RL zone shall incorporate the following:
1. A maximum building height of thirty-five (35) feet, relative to the base elevation of the adjacent RL-zoned parcel(s) where that base elevation is higher than the base elevation of the proposed project, shall apply to all portions of a structure within sixty (60) feet of an RL zone, including access roadway widths; provided, that the overall height of any structure shall not exceed the maximum structure height specified in the dimensional standards charts in SMC15.400.020-15.400.025; and
  2. A minimum side and/or rear yard building setback of twenty (20) feet shall apply if the side or rear property boundaries are adjacent to an RL zone.

Side/rear yard landscaping shall occupy all or part of the required building setback, as specified in the landscaping chart in SMC15.445.111.

- B. Properties abutting an RM zone shall maintain a minimum side and/or rear yard building setback of twenty (20) feet, if the side or rear yard property boundaries are adjacent to an RM zone. Side/rear yard landscaping shall occupy all or part of the required building setback, as specified in the landscaping chart in SMC 15.445.111.
- C. Parking shall not be permitted within the side and/or rear yard building setback adjacent to an RL zone.



### 15.310.355 Service Element Location and Design

To reduce the potential negative impacts of service elements such as waste receptacles and loading docks, service and loading areas shall be located away from sidewalks and other pedestrian areas, and screened from public view. The following requirements shall also be met:

- A. Service elements shall be concentrated and located where they are accessible to service vehicles and convenient for tenant use.
- B. In addition to standard closure requirements, garbage, recycling collection, and utility areas shall be enclosed on all sides, including the roof, and screened around their perimeter by a wall or fence and have self-closing doors.
- C. Service elements shall be designed to meet CPTED standards. (See Chapter 17.04 SMC, CPTED Concepts.)

### 15.310.400 Building Design

**Purpose:** Buildings should be designed to achieve an architecturally appealing environment. Design emphasis should be given to the pedestrian through the provision of inviting building entries, street-level amenities and other structural and facade elements to encourage pedestrian interaction. Buildings should directly contribute to the attractiveness, safety and function of the street and public areas. Buildings should be designed to accommodate a range of uses over time. It is intended by this code to encourage a variety of building and design solutions in response to the standards and regulations outlined herein. Buildings shall be designed to achieve the urban design vision set forth in SMC 15.310.010.

### **15.310.405 Minimum Building Height**

Minimum building height requirements are utilized to encourage higher density development, create visual interest and facilitate a consistent building scale.

#### **A. Minimum Building Height.**

1. The minimum base building height within the South 154th Street Station Area Overlay District shall be two (2) stories, or
2. One (1) story structures may be allowed subject to the following:
  - a. One (1) story structures shall be a minimum of eighteen (18) feet and have the appearance of two (2) story structures.

**B. Calculation of Minimum Building Height.** The overall height of a building shall be measured from the average of the highest and lowest grades of the site to the top of the parapet of the highest habitable floor.

**C.** For maximum structure heights for zone classifications within the South 154th Street Station Area Overlay District, see the dimensional standards charts in SMC 15.400-020-15.400.025.

### **15.310.410 Ground Floor Transparency Requirements**

Windows shall be provided on the street level rather than blank walls to encourage a visual link between the business and passing pedestrians.

**A.** Transparency requirements shall apply to buildings with a ground floor retail, commercial, office, service or public use, as defined in the South 154th Street Station Area Overlay District use chart (SMC 15.310.115). Transparency requirements shall not apply to portions of a building with ground floor housing.

1. **Primary Pedestrian-Oriented Streets.** For projects on primary pedestrian-oriented streets, see SMC 15.310.120. Windows shall cover at least

seventy-five percent (75%) of the public street-facing ground floor building wall area.

2. Secondary Pedestrian-Oriented Streets. For projects on secondary pedestrian-oriented streets, see SMC 15.310.120. Windows shall cover at least sixty percent (60%) of the public street-facing ground floor building wall area.
3. Other Streets. For projects that are not located on primary or secondary pedestrian-oriented streets, and that do not have a mixed use requirement, windows shall cover at least sixty percent (60%) of the public street-facing ground floor building wall area.
4. Required Mixed Use Projects. For projects that require a mixed use component as specified in the SMC 15.310.115 use chart, windows shall cover at least sixty percent (60%) of the public street-facing ground floor building wall area. When projects with required mixed use elements are located on primary or secondary pedestrian-oriented streets, the transparency requirements for the primary or secondary pedestrian-oriented streets apply.
5. Transparency requirements shall apply to that area of the ground floor building wall fronting the street up to the finished ceiling height of the first floor building space.
6. Windows shall begin twelve (12) to thirty (30) inches above the finished grade of the first floor building space.
7. Building facades shall have clear windows with visibility into and out of the building. At the first floor building level, darkly tinted, mirrored or reflective glass shall not be used. Lightly tinted see-through windows are allowed for nonretail ground floor uses.

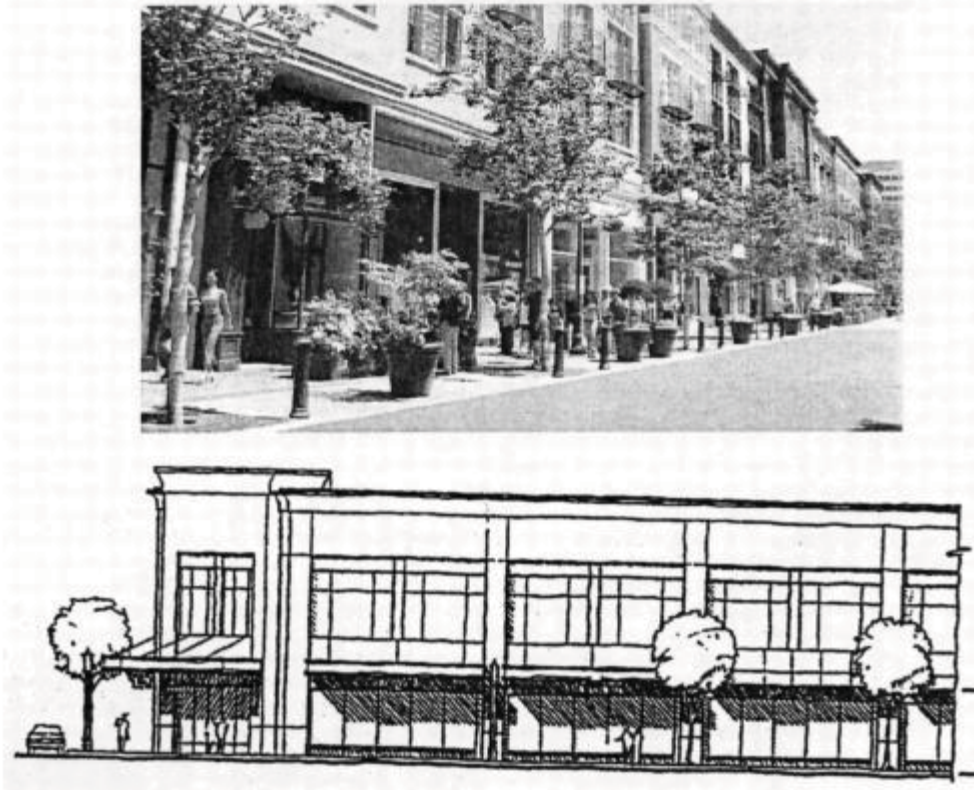


FIGURE 15.310.410: EXAMPLES OF GROUND FLOOR TRANSPARENCY

### **15.310.415 Minimum Depth and Ceiling Heights for Street Level Nonresidential Uses**

Ground floor spaces of buildings intended for nonresidential uses that face public or private streets shall provide the following:

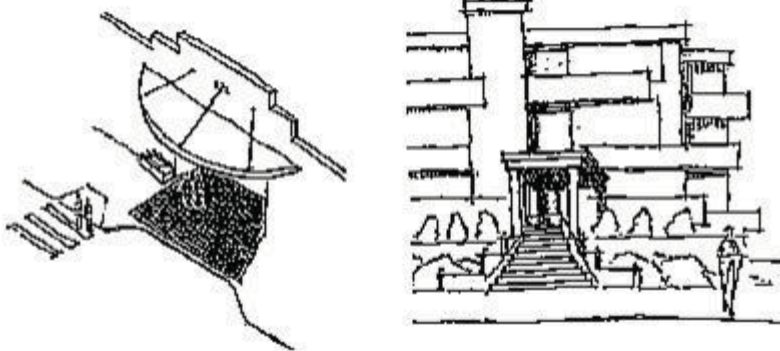
- A. **Minimum Depth.** The leasable ground floor area shall extend in depth a minimum of thirty (30) feet from the exterior building facade.
- B. **Minimum Ceiling Height.** The minimum clear interior ceiling height standard for the ground floor portion of buildings, extending in depth a minimum of thirty (30) feet from the exterior building façade,, shall be at least thirteen (13) feet for all street level building space.

### **15.310.420 Pedestrian Building Entries**

- A. The primary building entry shall be located on the facade facing a public or private street.



- B. Primary building entries shall be designed to be clearly visible or recognizable from an adjacent public or private street through the incorporation of the following features:
1. Canopies or other entry coverings that provide pedestrian shelter and interest;
  2. Distinctive architectural elements such as a variation in the building footprint, roof form, or amount of transparent glazing;
  3. Pedestrian-scaled ornamental lighting no greater than fifteen (15) feet in height.
- C. Landscaping designed as entry focal point is encouraged.
- D. All ground level building entries shall be located no more than three (3) feet above or below the grade of the sidewalk. In the case of an allowable grade difference between a building entry and adjoining sidewalk, provide stairs and/or ramps to accommodate pedestrian access.

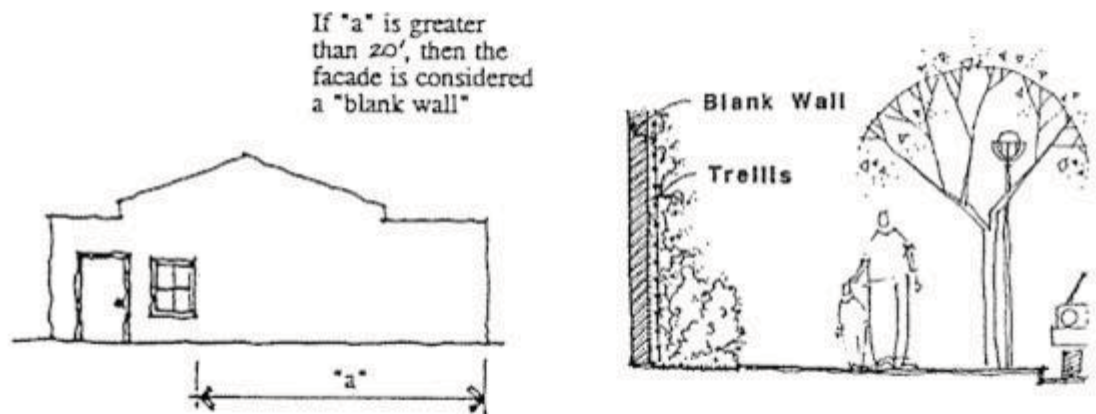


### 15.310.430 Treatment of Blank Walls

Untreated blank walls visible from public streets, sidewalks, or interior pedestrian pathways shall be prohibited.

- A. Where blank wall sections are unavoidable due to the requirements of structural needs, they shall not exceed a length of forty (40) feet, or twenty percent (20%) of the length of the facade, whichever is less.
- B. Blank wall sections of allowed lengths shall receive two (2) or more of the following special design treatments up to at least the finished ceiling height of the first floor building space in order to increase pedestrian comfort and interest:

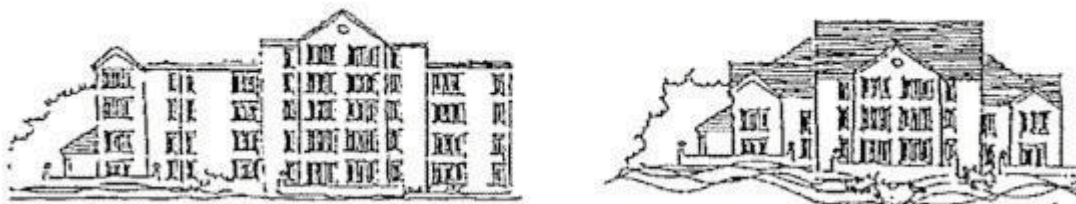
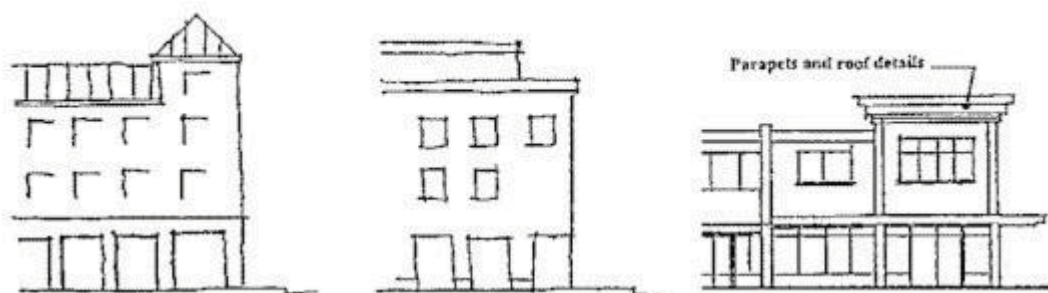
1. A minimum of one (1) piece of public art, approved by the Director of Planning and Community Development, shall be included for every fifty (50) feet of enclosed length. Artwork may include, but is not limited to, the following suggestions:
  - a. Artistic wall treatments, such as painted murals, bas-relief murals, trompe l'oeil, photographic montages, or mosaics, on at least fifty percent (50%) of the blank wall surface;
  - b. Neon lighting sculptures or other artistic lighting displays, provided they do not meet the definition of a sign in Chapter 15.600 SMC, Sign Code;
2. Provide a decorative masonry pattern, or other architectural feature as approved by the Director of Planning and Community Development, over at least fifty percent (50%) of the blank wall surface; and/or
3. Employ small setbacks, projections, indentations, or intervals of material change to break up the wall's surface as approved by the Director of Planning and Community Development;
4. Install vertical trellis in front of the wall with climbing vines or other plant materials over at least fifty percent (50%) of the blank wall surface;
5. Glass window display cases incorporated into ground floor walls. Glass window display cases shall be at least two (2) feet deep, begin twelve (12) to thirty (30) inches above the finished grade of the sidewalk, and cover at least fifty percent (50%) of the blank wall. Tack-on display cases shall not qualify as a blank wall treatment.



### 15.310.440 Roof Lines

Roof lines shall provide a visual terminus to the tops of South 154th Street Station Area Overlay District buildings and soften rectilinear forms.

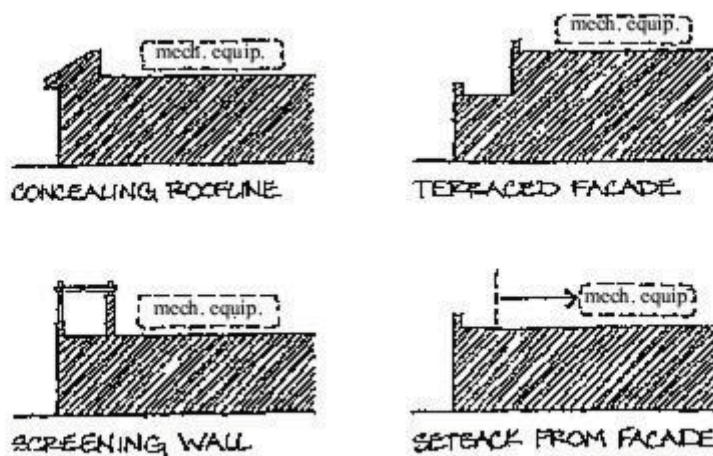
- A. Roof lines shall provide an architectural focal point. A roof line focal point refers to a prominent rooftop feature such as a peak, tower, gable, dome, barrel vault or roof line trellis structure.
- B. Roof designs must conform to one (1) of the following options:
  1. Roof Line Variation. The roof line articulated through a variation or step in roof height or detail, such as:
    - a. Projecting Cornice. Roof line articulated through a variation or step in cornice height or detail. Cornices must be located at or near the top of the wall or parapet.
    - b. Articulated Parapet. Roof line parapets shall incorporate angled, curved or stepped detail elements.
  2. Pitched Roof or Full Mansard. A roof with angled edges, with or without a defined ridge line and extended eaves.
  3. Terraced Roof. A roof line incorporating setbacks for balconies, roof gardens, or patios.



### 15.310.450 Rooftop Equipment

Building rooftops shall be designed to effectively screen mechanical equipment from street-level view through one (1) or more of the following methods:

- A. A concealing roof line;
- B. A terraced facade;
- C. A screening wall or grillwork directly surrounding the equipment;
- D. Sufficient setback from the facade edge to be concealed from ground level view.

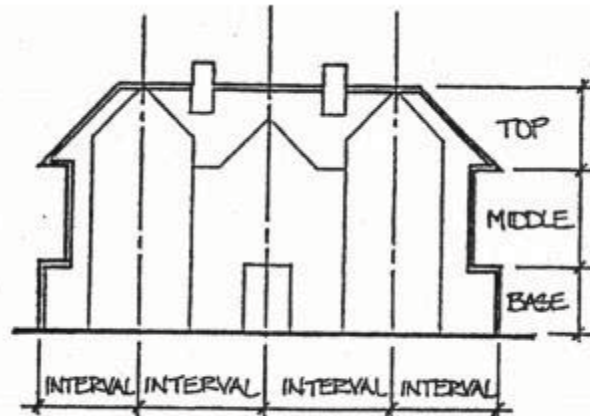


### 15.310.460 Character and Massing

All building facades shall include measures to reduce the apparent scale of the building, break up long blank walls, add visual interest and enhance the character of the neighborhood. Examples include modulation, articulation, defined entrances, and display windows. Building facades one hundred (100) feet or greater in length shall incorporate vertical and horizontal variations in setback, material or fenestration design along the length of the applicable facade. (See S. 154<sup>th</sup> St. Station Area Overlay District parking structure standards in SMC Chapter 15.465 Parking and Circulation for character and massing requirements specific to parking structures):.

- A. Vertical Facade Changes. In order to incorporate architectural variation within a project, a minimum of one (1) vertical facade change shall be provided at least every forty (40) feet over the length of the applicable facade, such as:
  1. Varying the arrangement, proportioning and/or design of windows and doors;

2. Incorporating changes in architectural materials; and/or
  3. Projecting forward or recessing back portions or elements of the applicable facade.
    - a. Front facades incorporating a variation in building setback shall include within the setback such architectural elements as covered or recessed building entries, plazas or courtyards, storefront or bay windows, seating and/or planting areas.
- B. Horizontal Facade Changes. In order to differentiate the ground floor from upper floors, a minimum of one (1) horizontal facade change shall be provided, such as:
1. Stepping back the upper floors from the ground floor building facade;
  2. Changing materials between the building base and upper floors;
  3. Including a continuous cornice line between the ground floor and upper floors.



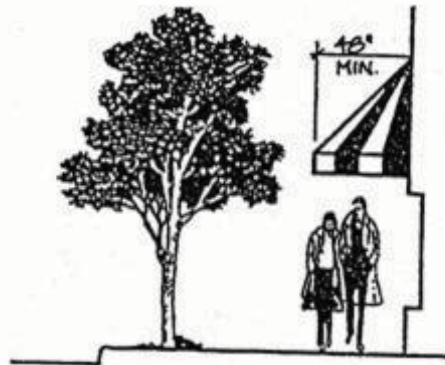
### 15.310.470 Pedestrian Weather Protection Along Building Facades

Building facades with ground floor retail, commercial, office, service or public uses shall be designed and constructed to provide for pedestrian weather protection through the use of canopies, colonnades, marquees, or building overhangs. Pedestrian weather protection structures shall extend along at least the length of the street-facing facade with the ground floor retail, commercial, office, service or public use.

- A. Pedestrian weather protection structures shall extend a minimum of five (5) feet out from the building facade along at least eighty percent (80%) of the front of the building. The maximum horizontal projection from the surface of the building

shall be eight (8) feet or seventy-five percent (75%) of the distance to the curb face, whichever is less. Pedestrian weather protection structures shall be architecturally integrated with the ground level design of the building to which it is attached.

- B. The minimum height of pedestrian weather protection structures shall be eight (8) feet and six (6) inches above the sidewalk surface. Maintain a horizontal consistency by aligning the bottom edge of weather protection structures with those on adjacent buildings. Where the grade is sloping, maintain the average height above grade of adjacent weather protection structures.



- C. The bottom edge of the pedestrian covering shall not extend higher than fifteen (15) feet above ground level.
- D. The color, material, design and configuration of the pedestrian covering shall be as approved by the Director of Planning and Community Development. Coverings with visible corrugated metal or corrugated fiberglass are not permitted. Fabric, plastic and rigid metal awnings are acceptable if they meet the applicable standards. All lettering and graphics on pedestrian coverings must conform to the sign regulations in the City of SeaTac Zoning Code.
- E. Building facade landscaping shall not be required under pedestrian weather protection structures along public or private street frontages. Any facade landscaping provided under pedestrian weather protection structures shall be of such width that a minimum four (4) feet of unobstructed walking area remains under the building canopy, overhang, or other weather protection structure.
1. Building facade landscaping in front of a ground floor retail use shall be designed and maintained to avoid obscuring visibility of street-facing windows or limiting access to building entrances, and shall consist of:
    - a. Evergreen shrubs spaced no more than four (4) feet apart that do not exceed a height of four (4) feet at maturity;
    - b. Ground cover; and

- c. Seasonal displays of flowering annual bedding plants.

**15.310.480 Upper Level Setback**

Design techniques shall be used to minimize perceived building mass, allow greater sunlight and achieve superior architectural and human scale from abutting right-of-way and public open spaces. Buildings located at corners shall serve as gateways to the neighborhood distinguishable from the rest of the buildings.

- A. Upper Level Setback. Midblock, buildings may not rise more than thirty-five (35) feet without stepping back at least ten (10) feet.
- B. Buildings at Corners. Sixty (60) foot height shall be allowed without upper floor setbacks for buildings on corners. After fifty (50) foot horizontal distance from a corner, buildings shall comply with upper level setbacks as specified in subsection (A) of this section.
- C. Structures in Required Upper Level Setbacks. The first four (4) feet of horizontal projection of decks, balconies with open railings, eaves, cornices and gutters shall be permitted in required setbacks.

**15.310.500 Off-Street Parking Requirements**

All properties in the S. 154<sup>th</sup> St. Station Area Overlay District shall conform to the off-street parking requirements in SMC 15.310.505 – 15.310.510.

**15.310.505 Minimum Parking Spaces Required**

The minimum parking spaces required shall be those established in the parking chart in Chapter 15.465 Parking and Circulation SMC.

- A. One Bedroom Unit Exception to Minimum Parking Spaces Required. The minimum standard for a one (1) bedroom unit in a multi-family development shall be one (1) parking space.
- B. In cases where the minimum parking standards established in the parking chart in SMC 15.465.105 are greater than the maximum spaces allowed in this section, then the parking standards of SMC 15.310.510 below shall supersede and also serve as the minimum number of parking spaces required.

**15.310.510 Maximum Parking Spaces Permitted (1)**

LAND USE	MAXIMUM SPACES PERMITTED
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<b>Residential Uses</b>	
Dwelling Unit, Attached/Duplex/Townhouse	2 per dwelling unit
Multi-Family	1 per bedroom, up to 2 per dwelling unit
Multi-Family, Senior	1 per unit
Bed and Breakfast/Guesthouse	1 per bedroom, plus 2 for residents
Transitional Housing	1 per 2 bedrooms
Community Residential Facility	1 per bed
Convalescent Center/Nursing Home	1 per 3 beds
Dormitory	1 per bedroom unit
<b>Recreational/Cultural Uses</b>	
Conference/Convention Center	5 per 1,000 SF of building area
Library/Museum	4 per 1,000 SF of building area
Community Center	4 per 1,000 SF of building area
Recreation Facility, Indoor	4 per 1,000 SF of building area
Theater/Night Club/Entertainment Club	0.75 per fixed seat, plus 1 per employee
<b>General, Educational and Health Services Uses</b>	
General Service Uses	4 per 1,000 SF of building area
Educational Uses	1 per employee, plus 1 per 2 students
Health Services Uses	4 per 1,000 SF of building area
<b>Government/Office, Business Uses</b>	
Professional Office	3 per 1,000 SF of building area

*Explanation of Notes:*

- 1 Where calculations result in fractions of parking spaces, the maximum number of parking stalls shall be determined by rounding up to the next whole number.



LAND USE	MAXIMUM SPACES PERMITTED
<b>Retail/Commercial Uses</b>	
Hotel/Motel/Lodging	1 per bedroom, plus the following for associated uses:  <u>Restaurant/ Lounge/ Bar:</u> 4 per 1,000 SF of building area  <u>Banquet/ Meeting Room:</u> 5 per 1,000 SF of gross building area
Retail, General	4 per 1,000 SF of leasable space
<b>Manufacturing Uses</b>	
All manufacturing uses	1 per employee, plus 2 per 1,000 SF of building area

**15.310.515 Additions or Reductions in Parking Spaces**

There may be additions or reductions to allowed parking spaces based on a parking plan demonstrating an increased or decreased need to serve residents and/or customers.

**15.310.600 Additional Standards**

A. In addition to the requirements within this chapter, development standards from the following chapters may apply to projects within the S. 154<sup>th</sup> St. Station Area Overlay District:

Chapter 15.500	Commercial and Mixed Use Development Design Standards SMC
Chapter 15.135	Development Incentives SMC
Chapter 15.400	Dimensional Standards SMC
Chapter 15.430	Fences and Walls SMC
Chapter 15.445	Landscaping and Tree Retention SMC
Chapter 15.520	Multi-Family Housing Design Standards SMC
Chapter 15.460	Open Space and Amenities SMC
Chapter 15.465	Parking and Circulation SMC
Chapter 15.475	Security for Residential Developments SMC
Chapter 15.480	Service and Utility Areas SMC
Chapter 15.600	Signs SMC
Chapter 15.525	Townhouse and Duplex Development Design Standards

- B. In addition to the requirements within this chapter, and the chapters identified in SMC 15.310.600(A), development standards from elsewhere in this title may apply to projects within the S. 154<sup>th</sup> St. Station Area Overlay District.

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## **Chapter 15.315**

### **Equestrian Special District Overlay**

#### **SECTIONS:**

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#### **15.315.005 Purpose**

#### **15.315.010 Authority and Application**

#### **15.315.015 Review Process**

#### **15.315.100 General Standards**

#### **15.315.200 Special Regulations and Requirements**

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#### **15.315.005 Purpose**

The limitations on keeping horse/equine animals in the City herein have the following purposes:

- A. To maintain the general health and sanitation of the City;
- B. To minimize adverse impacts to established neighborhoods which could result from the keeping of animals; and
- C. To ensure that horses/equine animals are maintained in a safe and humane environment.

#### **15.315.010 Authority and Application**

- A. The provisions of this chapter shall apply to all Equestrian Special District Overlays (ESDO).
- B. Equestrian Special District Overlays shall be indicated on the zoning map by a shaded with the initials “ESDO”.

#### **15.315.015 Review Process**

- A. An Equestrian Special District Overlay shall be approved through the rezone process.
- B. A site plan indicating the approximate location of the on-site dwelling units and accessory structures used to house horse/equine animals shall be submitted to the Department of Planning and Community Development. The plan must note any

potential or existing grazing/exercise areas and the distance of adjacent dwellings to the subject site's property boundaries and stables;

- C. Notice shall be given to citizens owning horse(s) after the date of this code being adopted, and an approved health/boarding checklist shall be completed by the applicant and reviewed by the Code Enforcement Official in the Building Division of the Public Works Department by inspection; and
- D. A license fee as established by current license fee schedule.

### **15.315.100 General Standards**

- A. An Equestrian Special District Overlay must include no less than two (2) property owners with contiguous parcels or a single property owner with a minimum lot size of 30,000 square feet.
- B. A maximum of two (2) horse/equine animals per ten thousand (10,000) square feet of lot area within approved Equestrian Overlays.
- C. Any horse/equine animals above two (2) shall require an additional ten thousand (10,000) square feet per animal.
- D. **Minimum Setbacks.**
  - 1. Any structure or enclosure used to provide board for horse/equine animals must be at least fifteen (15) feet from any property line and at least thirty (30) feet from any dwelling unit located on an adjacent lot.
  - 2. Roaming or grazing areas must be at least five (5) feet from all side property lines and five (5) feet from any rear property line, and at least ten (10) feet from any dwelling unit located on an adjacent lot, and shall be constructed according to these setback requirements.

### **15.315.200 Special Regulations and Requirements**

- A. If an abutting property owner files a signed and notarized statement in support of the request, the City may permit roaming or grazing areas to extend to the property line in common with the abutting property. Such release shall be effective until revoked in writing by the abutting property owner and the City.
- B. The City may limit the number of animals allowed to less than the maximum considering:
  - 1. Proximity to dwelling units both on and off the subject property;
  - 2. Negative impact on surrounding uses; or

3. Effect and impact on identified sensitive areas.
- C. The applicant must provide and maintain the following items as reviewed and approved on the health/board checklist by the City:
1. Fences, minimum of five (5) feet in height;
  2. Method of manure disposal (recycled/composted on site);
  3. Method of rodent/insect control;
  4. Hay/grain storage containers with controlled access; and
  5. Odor control.
- D. Annual Registration of Horse/Equine Animals. All horse/equine animals shall be registered annually under the City animal license process.

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## **Chapter 15.320**

### **Residential Low – 5000 Special District Overlay**

#### **SECTIONS:**

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<b>15.320.005</b>	<b>Purpose</b>
<b>15.320.010</b>	<b>Authority and Application</b>
<b>15.320.015</b>	<b>Review Process</b>
<b>15.320.100</b>	<b>General Standards</b>

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#### **15.320.005 Purpose**

The purpose of the Residential Low – 5000 Special District Overlay (RL-5000 SDO) is to allow for pockets of smaller single-family lots in the single-family zone classifications. This will help to encourage infill and allow the development of past platted properties that may have restricted development potential due to the shape or topography of the site.

#### **15.320.010 Authority and Application**

- A. The provisions of this chapter shall apply to all Small Lot Single-Family Overlays.
- B. Residential Low – 5,000 Special District Overlays shall be indicated on the zoning map by a shaded overlay with the initials “RL-5000 SDO.”

#### **15.320.015 Review Process**

Residential Low – 5000 Special District Overlays shall be approved through the rezone process.

#### **15.320.100 General Standards**

The following development standards shall apply to residential development located in a Residential Low – 5000 Special District Overlay:

- A. The lot size shall not be decreased below five thousand (5,000) square feet, not including road easements in the lot calculations.
- B. Zero lot lines shall be encouraged, and joint open space areas shall be provided with appropriate maintenance covenants for all property owners.



- C. The development must meet required site-specific SEPA conditions to mitigate project impacts on transportation, utilities, drainage, police and fire protection, schools, parks and environmentally sensitive areas.
- D. Each overlay area shall be linked in some form to a high-capacity transit mode.
- E. Screening landscaping shall be provided on the boundaries of the sites equal to or greater than the minimum requirements for multifamily dwellings as determined by the City Manager, or designee.
- F. At least ten percent (10%) of all residential units shall be affordable to low-income households. "Low-income" is an income level below eighty percent (80%) of the median household income for King County, adjusted for household size.
- G. Housing required by this section shall be affirmatively marketed to racial minorities and handicapped persons.
- H. A covenant locking in the rent levels for low-income levels for a fifteen (15) year period shall be recorded against the property.
- I. All Residential Low – 5000 Special District Overlays shall be served with public water and public sewer. No use of on-site sewage disposal systems shall be permitted. The developer of an RL-5000 SDO shall be responsible for the construction of all on-site and off-site improvements and additions to water and sewer facilities required to support the development.